



**HEARINGS EXAMINER MEETING AGENDA**  
**Thursday, February 6, 2020, 5:00 PM**  
**City Hall, 616 NE 4th Avenue**

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**I. CALL TO ORDER**

**II. INTRODUCTION AND INSTRUCTIONS**

**III. HEARING ITEM**

- A. Public Hearing for Vutukuri Duplex (CUP19-02)  
Presenter: Madeline Sutherland, Assistant Planner

 [Staff Report](#)

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[2 Narrative](#)

[3 Vicinity Map](#)

[4 Site Plan](#)

[5 Landscape Plan](#)

[6 Floor Plan and Elevations](#)

[7 Building Colors](#)

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**IV. ADJOURNMENT**

**V. LAND USE DECISION**

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that persons with special needs have opportunities to participate. For more information, please call the City Clerk's Office at 360.817.1591.



**STAFF REPORT**

Vutukuri Duplex  
File No. CUP19-02  
(Related files: DR19-08)

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<u>TO:</u>	Hearings Examiner	<u>HEARING DATE:</u>	February 6, 2020
<u>PROPOSAL:</u>	To request conditional use approval to construct a duplex residential structure on a single-family residential lot.		
<u>LOCATION:</u>	The site is located at 1213 NW Benton Street in the NE ¼ of Section 11, Township 2 North, Range 3 East, of the Willamette Meridian; and described as tax parcel #82973000.		
<u>APPLICANT:</u>	Tony Marnella PO Box 874090 Vancouver, WA 98687	<u>OWNER:</u>	Kishore and Mahalakshmi Vutukuri 2674 NW 166 <sup>th</sup> Terrace Beaverton, OR 97006
<u>APPLICATION SUBMITTED:</u>	August 30, 2019	<u>APPLICATION COMPLETE:</u>	October 29, 2019
<u>PUBLIC NOTICES:</u>	Notice of Application was mailed to property owners within 300 feet of the site and published in the Post Record on November 7, 2019. Legal publication #299660. Notice of Public Hearing was mailed to property owners on January 22, 2020 and published in the Post Record on January 23 <sup>rd</sup> . Legal publication # 348170.		

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**APPLICABLE LAW:** The application was submitted on August 30, 2019, and the applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization; Chapter 18.09 Density and Dimensions; Chapter 18.11 Parking; Chapter 18.13 Landscaping; Chapter 18.19 Design Review; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions.

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## SUMMARY

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The applicant has proposed to construct a duplex on a 4,594 square foot vacant lot zoned Single-Family Residential (R-7.5). Duplex developments are an allowed use subject to conditional use permit approval per CMC 18.07.040- Table 2.

The property abuts the west side of NW Benton Street. Adjacent properties are also zoned R-7.5 with a mix of styles, sizes and densities (i.e. single-family and multi-family). The application materials include photos of nearby multi-family properties. There is a mutli-family building located to the southeast corner of NW Benton Street and NW 12 Avenue, and there is another multi-family residence located northwest of the subject property. There are also other duplexes within the vicinity. There are no critical areas or significant trees on site.

The applicant sought design review approval and a design review committee meeting was held December 18, 2019.

## FINDINGS

### *Chapter 18.43 Conditional Use Permit*

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**A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;**

CMC 18.03.040 Definitions, defines duplex as *“a structure containing two dwelling units on one lot.”* The applicant has proposed a structure with two dwelling units, which is consistent with this definition. The project is a development in a single-family zone, but is a use than can be conditionally allowed.

The applicant’s narrative further states the building will fit in with the surrounding housing stock and shall comply with current building code. There are many properties within the vicinity consisting of multi-family residences as well.

**FINDING:** The proposed development as a duplex is allowed with approval of a conditional use permit per CMC Chapter 18.07 Use Authorization and will not be detrimental to the public or adjacent uses given the existing uses in the vicinity.

**B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;**

Development standards at CMC 18.09.040 Tables 1 and 2, for a single family lot include building setback minimums, maximum height standards, and maximum building lot coverage standards. Parking and landscaping requirements are found in CMC Chapter 18.11 and 18.13, respectively. There are also specific building design standards for duplexes within CMC Chapter 18.19 Design Review and the Camas Design Review Manual discussed in further detail below of this staff report.

#### **Setbacks**

Building setbacks are based on lot sizes per CMC 18.09.040 Table 2. The lot size is approximately 4,594 square feet. The setback standards for a lot that is under 5,000 sq. ft. are as follows: Front yard is 20-feet; Side yard is 5-feet; Rear yard is 20-feet. The applicant’s proposed site plan demonstrates compliance with these setback requirements.

### **Parking**

Residential uses must provide adequate off-street parking pursuant to CMC Chapter 18.11.130 *Standards*. A “duplex” use requires two off-street parking spaces per unit. The site plan shows that each garage includes one parking space, and a second space in each driveway, and therefore meets this requirement.

### **Landscaping**

Per the landscape plan, the applicant is proposing two trees in the front yard of the duplex in compliance with CMC 17.19.030.F.1 which states, “*Each dwelling unit within a new development shall be landscaped with at least one tree in the planting strip of the right-of-way, or similar location in the front yard of each dwelling unit, with the exception of flag lots and lots accessed by tracts. Required trees shall be a minimum two-inch diameter at breast height (dbh) to create a uniform streetscape (dbh is four and one-half above the ground as measured from upside of tree)*”. The existing planter strip is not wide enough to sustain street trees, therefore street trees will be required in the front yard of the duplex. A duplex consists on two dwelling units, therefor two street trees will be required. Per the applicant’s landscape plan, this criteria is met.

**FINDING:** Staff finds the two trees proposed in the front yard meet the street tree requirements. The property owner is responsible for replacing the trees if they fail to survive, therefore appropriate measures shall be taken to ensure the trees survival. If a tree is removed or dies, it must be replaced within one year. A final landscape plan shall be submitted to the City prior to engineering plan approval. A condition will be warranted.

### **Landscape buffers:**

The proposal must also comply with the applicable landscaping standards in CMC Chapter 18.13. The applicant has focused the planting areas within the front yard adjacent to the driveways. Per CMC 18.13.055(A) Table 1- Landscape Buffers, a 5-foot (L1) landscape buffer is required for multi-family uses (i.e. duplexes) abutting residentially zoned property. Residentially zoned properties abut the subject site on each side. For compliance with this standard, trees and shrubs should be provided per CMC 18.13.055.B.1 or a fully sight-obscuring fence be installed per CMC 18.13.055.B.4.b. There is a cedar fence proposed on the north, south, and west property lines, and an existing Laurel hedge along the north property line to be retained. The cedar fence shall be six feet tall and 100% sight obscuring. Staff finds the landscape buffer criteria can be met, and a condition is warranted.

### **Tree Density/Tree Survey:**

There are no significant trees on site. Per CMC significant trees include “*evergreen trees eight inches DBH, and deciduous trees twelve inches DBH*” and “*does not include hazard trees or invasive species*”. The applicant is required to provide 20 tree units per acre per CMC 18.13.051. The property is .11 acres and as such, 2 tree units are required. Tree plantings are required to be a minimum of 2” cal. Which calculates to two trees per CMC 18.13.051 Table 2. The two Sender Hinoki trees per the applicant’s landscape plan meet this requirement.

A final landscape plan consistent with the landscaping standards in CMC Chapter 18.13 and the Camas Design Manual planting specifications and landscape notes should be submitted to the City for review and approval prior to engineering plan approval. Trees should be installed prior to final occupancy and conditioned as such.

**FINDING:** Staff finds the proposed development as conditioned can or will meet the development standards that are required in the zoning district.

**C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;**

**Traffic and Pedestrian Circulation**

**Roads:**

The proposed duplex will front NW Benton Street which is classified as a local road per the 2016 Transportation Comprehensive Plan. The existing roadway is fully improved and consists of 40-feet of right-of-way, 23-feet of paved surfacing, sidewalks, curbs, planter strips, street lighting, and no on-street parking on the east side of the road. As this is an existing fully improved roadway, frontage improvements and dedication of additional right-of-way, per CMC 17.19.040, will not be required.

Access to the proposed duplexes will require construction of driveway approaches. Per Camas Design Standards Manual (CDSM), street detail ST15, note #5, the total driveway throat widths are not to exceed 40% of total lot frontage. The lot frontage width is 50-feet which will allow for a total driveway throat width of 20-feet. The applicant has proposed to construct two 10-foot wide driveways. Driveway approaches are to be constructed in accordance with CDSM. Additionally, any existing worn sidewalk or damaged curb along the frontage is to be replaced. Staff recommends a condition of approval that the applicant should replace any existing worn and/or damaged sidewalk and curb per Camas Design Standards Manual.

**FINDING:** Staff finds that, as conditioned, the proposed development can or will, as conditioned, meet the City's road standards.

**Density, Building and Site Design**

The subject property is located in a residential neighborhood with a mix of designs and densities to include several multi-family residences. The design of the building is influenced by the existing character of the neighborhood to include architectural features and materials consistent with that of a residential use. The design of the building is discussed in further detail below. Per CMC 18.09.040 Table 1, the maximum lot coverage is 40%. The applicant is proposing 43.4% lot coverage.

**FINDING:** The development design is generally compatible with the surrounding land uses. The lot coverage of 40% will need to be met and a condition is warranted.

**Water:**

There is an existing 6-inch outside diameter steel water main located in NW Benton Street. The applicant will be required to provide two individual water services, one for each dwelling unit, which will be tapped at the main. The applicant will be required to extend each service to the right-of-way and install water meters, per Camas Design Standards Manual. All water services beyond the meters will be privately owned and maintained by the applicant.

**FINDING:** Staff finds that the applicant can and will provide water system improvements consistent with the City's standards.

**Sanitary Sewer:**

There is an existing 8-inch HDPE gravity sanitary sewer main located in NW Benton Street. Additionally, as-builts indicate that there are two existing 6-inch sanitary sewer laterals with cleanouts stubbed to the right-of-way. The applicant will be required to connect one dwelling unit per sanitary sewer lateral. Sanitary laterals beyond the right-of-way will be privately owned and maintained by the applicant.

**FINDING:** Staff finds that adequate provisions for sanitary sewer can or will be made.

Stormwater:

The lot size for the proposed development is approximately 4,594-square feet, with improvements that will generate approximately 2,212-square feet of impervious surface. As the proposed improvements are less than 5,000 sq. ft. of impervious surface, treatment and detention are not required.

However, the applicant has not indicated any provisions to provide for roof downspout control and surface water runoff. Stormwater from downspouts and surface water runoff is not to be directed onto nor impact adjoining parcels. Provisions are to be provided for roof downspout controls. Stormwater from downspouts is not to be directed onto adjoining parcels. Reference Ecology's latest edition of the Stormwater Management Manual for Western Washington (SWMMWW) for roof downspout controls. Staff recommends a condition of approval that the applicant should provide roof downspout and surface water runoff control in accordance with the latest edition of Ecology's SWMMWW, prior to final engineering approval.

There is not an existing stormwater sewer main in NW Benton St. between NW 12th Ave. and NW 13th Ave. However there is an existing catch basin located at the northwest corner of NW Benton St. and NW 12th Ave. that discharges into an existing stormwater manhole. On road sections that have been constructed with a centerline crown, weep holes thru curbs may be permitted, per CDSM, street detail ST11. Approval for weep holes to discharge stormwater into the gutter pan on an existing road may be approved with verification that there is sufficient grade and crown on NW Benton St. to allow stormwater to flow to the existing catch basin via the west gutter pan. If there is not sufficient grade and crown, to allow for flow to the existing catch basin, stormwater is to be hard piped to the catch basin. Staff recommends a condition of approval that the applicant should provide verification, prior to final engineering plan approval, that there is sufficient grade and crown on NW Benton St. to allow stormwater discharged via curb weep holes to flow to the existing catch basin via the west gutter pan. If there is not sufficient grade and crown on NW Benton St. stormwater is to be hard piped to the catch basin.

**FINDING:** Staff finds that adequate provisions for stormwater, as conditioned, can or will be made.

**FINDINGS:** Staff finds that, as conditioned, adequate provisions for streets, water, sanitary sewer, and stormwater to the site can be provided.

**D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;**

The duplex has been designed with a single family residential feel and utilizes craftsman-like architectural features that are similar in nature to single family dwellings. The scale of the duplex is similar to neighboring residences. As mentioned earlier, the existing laurel hedge is proposed to be retained and a cedar fence will be installed which will minimize any potential adverse impacts of the duplex.

**FINDING:** Staff finds the building design and landscaping will minimize potential adverse impacts.

**E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;**

The citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. Also, policy LU-1.5, states, "*Where compatible with*

surrounding uses, encourage redevelopment or infill development to support the efficient use of urban land.” The proposed project being a duplex supports the policy of “efficient use of urban land”.

Policy H-1.6, states, “Encourage in-fill development on vacant or underutilized sites, subject to design review guidelines, that have adequate urban services, and ensure that the development is compatible with the surrounding neighborhood.” Analysis of the surrounding neighborhood is provided within the Applicant’s submittal. Staff finds that the in-fill development is compatible.

**FINDING:** Staff finds the development is consistent with the comprehensive plan.

**F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan;**

**FINDING:** After conducting a public hearing and deliberating over the evidence, the Hearings Examiner may include any additional conditions or criteria necessary to carry out the intent of the CMC and the Comprehensive Plan.

## **Chapter 18.19 Design Review**

*Design Review Committee member attendees: Whitney Henion, Dawn Redmond, Melissa Smith, Casey Wycoff. Excused: Kevin Breuner, Jim Short and Heather Vo.*

Design Review is required for new mutli-family developments per CMC 18.19.020 and therefore the duplex building proposal is subject to the applicable design review standards in CMC 18.19.050.A Standard Principles and B.3.c Specific Principles for Duplex, Triplex and Four-Plex and the guidelines in the Camas Design Review Manual “DRM”. As such, a Design Review Committee public meeting was held December 18, 2019 to review the proposal and recommend conditions or other actions necessary for compliance with the Design Review Manual.

### **Standard Principles:**

#### **Landscaping and screening, integration or natural features of the property, building design, and integration of historic elements**

Cedar fencing proposed to the north, south, and west property lines. There are large laurel bushes along the north property line that are proposed to remain in place. There are large trees nearby on neighboring properties which are proposed to be retained. Additional trees and shrubs will be planted in the front of the duplex and will meet the minimum tree density and landscaping requirements.

The craftsman style duplex building is made up many materials consisting of Hardie products such as lap, board and bat, barge and trim. The proposed colors are earth tones. Materials and colors selected are consistent with those seen on nearby residential structures. Any landscape, parking lot or building lighting should be directed, hooded or shielded away from surrounding properties, a condition is warranted.

### **Specific Principles:**

#### **Multi-Family Principles: Duplex, Triplex and Four-Plex**

The Committee recommended the Applicant add an architectural feature on the rear exterior wall above the door. The design review manual does not administer design review principles to the rear of buildings unless there is a street directly behind the building. A lot with a single family residence is behind the subject property therefore the design review committees recommendation will not be a condition by staff. The garages account for less than 50% of the front façade. The committee overall agreed with the duplex produced a complementary façade that faced the street.



**FINDING:** The Design Review Committee and staff found the proposed Vutukuri Duplex is generally in compliance with the Design Review Manual, and applicable design principles and guidelines of CMC Chapter 18.19.

## **CONCLUSION**

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Based on the above findings and discussion provided in this staff report, staff concludes the conditional use permit application for the Vutukuri Duplex (File # CUP19-02) should be approved, because it does or can comply with the applicable standards if all of the conditions of approval are met.

## **RECOMMENDATION**

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Staff recommends APPROVAL of the Vutukuri Duplex (Consolidated File #CUP19-02) subject to the following conditions of approval in addition to the conditions of the Consolidated Decision (File No. DR19-08).

### **STANDARD CONDITIONS OF APPROVAL**

1. Site improvement plans for work within the rights-of-way: streets, sidewalks, driveway approaches, water services, sanitary sewer laterals, and stormwater improvements shall be prepared in accordance with Camas Design Standards Manual (CDSM) and City Standards.
2. The plans shall be prepared by a licensed civil engineer in Washington State and submitted to the City's Engineering Department for review and approval.
3. A 3% construction plan review and inspection fee shall be required for all civil site work for this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City's Engineering Department for review and approval. The fee shall be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.
4. Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance shall be found in CMC 17.21.
5. In the event that any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease and the applicant shall notify the City, the tribes, and DAHP.
6. The applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, including stabilization of all disturbed soil, unless otherwise directed by the Community Development Director.
7. Final as-built construction drawing submittals shall meet the requirements of CMC 17.01.050 and the Camas Design Standards Manual (CDSM) for engineering as-built submittals.

### **SPECIAL CONDITIONS OF APPROVAL**

#### Planning:

8. The maximum lot coverage is 40% shall be met.
9. Prior to engineering plan approval, a final landscape plan consistent with the landscaping standards in CMC 18.13.050 and the Camas Design Manual planting specifications shall be submitted to the city for review and approval.

10. The proposed cedar fence shall be six feet tall and 100% sight obscuring and installed prior to final occupancy.
11. The property owner is responsible for replacing the trees if they fail to survive, therefore appropriate measures shall be taken to ensure the trees survival. If a tree is removed or dies, it must be replaced within one year by the property owner.
12. Trees shall be installed prior to final occupancy.
13. Lighting shall be shielded or hooded from neighboring properties.
14. This permit shall expire in two years of the date of the final decision per CMC§18.55.260, if no building plans are submitted.

Engineering:

15. The applicant shall replace any existing worn and/or damaged sidewalk and curb per Camas Design Standards Manual.
16. The applicant shall provide roof downspout and surface water runoff control in accordance with the latest edition of Ecology's SWMMWW, prior to final engineering approval.
17. The applicant shall provide verification, prior to final engineering approval, that there is sufficient grade and crown on NW Benton St. to allow stormwater discharged thru weep holes to flow to the existing catch basin via the west gutter pan. If there is not sufficient grade and crown on NW Benton St., weep holes will not be approved and stormwater is to be hard piped to the catch basin.



Community Development Department | Planning  
 616 NE Fourth Avenue | Camas, WA 98607  
 (360) 817-1568  
[communitydevelopment@cityofcamas.us](mailto:communitydevelopment@cityofcamas.us)

Case Number: *CUP19-02, DR19-08*

General Application Form

Case Number:

Applicant Information

Applicant/Contact: Tony Marne11a Phone: ( ) 503-709-3900  
 Address: PO Box 874090 tony@marnellahomes.com  
Street Address E-mail Address  
Vancouver WA 98687  
City State ZIP Code

Property Information

Property Address: 1213 and 1217 NW Benton Street 82973000/Hillcrest Add, Lt6, BLK 1  
Street Address County Assessor # / Parcel #  
Camas WA 98607  
City State ZIP Code  
 Zoning District R 7.5 Site Size 4996

Description of Project

Brief description:  
 Request for a Conditional use and design review to approve the construction of a duplex on the subject parcel

Are you requesting a consolidated review per CMC 18.55.020(B)? YES  NO   
 Permits Requested:  Type I  Type II  Type III  Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: vutukuri Kishore and Mahalakshmi Phone: ( ) 503-432-7513  
Last First  
2674 NW 166th Terrace  
Street Address Apartment/Unit #  
 E mail Address: Beaverton OR 97006  
City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: Kishore Kumar Vutukuri Date: 8/19/2019 | 7:07 AM

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: <i>8/30/19</i>	Pre-Application Date:	<i>\$5,763.00</i> <i>#513592</i> Electronic Copy Submitted <input checked="" type="checkbox"/>
Staff:	Related Cases #	

## Application Checklist and Fees [updated on April 25, 2019]

◇ Annexation	\$829 - 10% petition; \$3,523. - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$383.00 \$
◇ Archaeological Review		001-00-345-810-00	\$132.00 \$
◇ Binding Site Plan	\$1,805. + \$23 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$99.00 \$
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$5,595.00 \$
◇ Conditional Use Permit			
Residential	\$3,281 + \$101 per unit	001-00-345-810-00	\$ 3,483.00
Non-Residential		001-00-345-810-00	\$4,156.00 \$
◇ Continuance of Public Hearing		001-00-345-810-00	\$503.00 \$
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$744.00 \$
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◇ Design Review			
Minor		001-00-345-810-00	\$416.00 \$
Committee		001-00-345-810-00	\$2,280.00 \$ 2,280.00
◇ Development Agreement	\$842 first hearing; \$518 ea. add'l hearing/continuance	001-00-345-810-00	\$
◇ Engineering Department Review - <u>Fees Collected at Time of Engineering Plan Approval</u>			
Construction Plan Review & Inspection	(3% of approved estimated construction costs)		
Modification to Approved Construction Plan Review	(Fee shown for information only)	\$405.00	
Single Family Residence (SFR) - Stormwater Plan Review	(Fee shown for information only)	\$200.00	
Gates/Barrier on Private Street Plan Review	(Fee shown for information only)	\$1,000.00	
◇ Fire Department Review			
Short Plat or other Development Construction Plan Review & Insp.		115-09-345-830-10	\$274.00 \$
Subdivision or PRD Construction Plan Review & Inspection		115-09-345-830-10	\$340.00 \$
Commercial Construction Plan Review & Inspection		115-09-345-830-10	\$406.00 \$
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$66.00 \$
◇ LI/BP Development	\$4,156+ \$39.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$332.00 \$
◇ Planned Residential Development	\$33 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1,859 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$6,890 + \$240 per lot	001-00-345-810-00	\$
Subdivision	\$6,890 + \$240 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$192.00 \$
Subdivision		001-00-345-810-00	\$2,280.00 \$
◇ Plat Modification/Alteration		001-00-345-810-00	\$1,148.00 \$
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$340.00 \$
Subdivision		001-00-345-810-00	\$875.00 \$
◇ SEPA		001-00-345-890-00	\$777.00 \$
◇ Shoreline Permit		001-00-345-890-00	\$1,148.00 \$
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$39.00 \$
Master Sign Permit		001.00.322.400.00	\$121.00 \$
◇ Site Plan Review			
Residential	\$1,105 + \$32 per unit	001-00-345-810-00	\$
Non-Residential	\$2,762 + \$65 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential	(see below)	001-00-345-810-00	\$
\$3,894 + \$32 per res unit + \$65 per 1000 sf of GFA			
◇ Temporary Use Permit		001-00-321-990-00	\$77.00 \$
◇ Variance (Minor)		001-00-345-810-00	\$667.00 \$
◇ Variance (Major)		001-00-345-810-00	\$1,243.00 \$
◇ Zone Change (single tract)		001-00-345-810-00	\$3,212.00 \$

Adopted by RES 1023 AUG 2005; Revised by RES 1113 SEPT 2007; Revised by RES 1163 OCT 2009; Revised by RES 1204 NOV 2010;  
Revised by RES 15-001 JAN 2015; Revised by RES 15-007 MAY 2015; Revised by RES 15-018 DEC 2015; Revised by RES 16-019 NOV 2016;  
Revised by RES 17-015 NOV 2017; Revised by RES 18-003 APRIL 2018; Revised by RES 18-013 NOV 2018

## Fees reviewed &amp; approved by Planner:

Initial Date

For office use only

Total Fees Due: \$

5,763.00

Narrative for proposed duplex for  
1213 and 1217 NW Benton Street, Camas WA

The proposed duplex meets the standards identified for the conditional use permit under the CMC 18.430 Criteria:

- A. *The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;*

**The proposed duplex will fit in with other residential uses within the neighborhood. The proposed use will provide needed housing for the city of Camas and fits in with the surrounding housing stock. There are multiple plexes currently existing in and around the subject property. Providing rentable housing within neighborhoods of owner-occupied housing, creates a social connection with surrounding homeowners and a realization that these renters can someday own their own homes. It also places renters close to the public facilities, parks and the walkability that this neighborhood offers.**

- B. *The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;*

**The proposed duplex meets all setbacks (5' side, 20' front and 20' rear), it will be connected to all public services of sewer and water. At apx 26' it meets the heights standards. It will allow for 4 off street parking spots (2 in garages and 2 in driveways)**

- C. *The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;*

**The proposed duplex is compatible with the surrounding uses. It will have auto access to NW Benton via a driveway approach that meets all city development standards, the current sidewalk will be maintained which allows no break in city sidewalk circulation from street corner to street corner. The building proposed is a residential use which is in accordance with other residential uses within the neighborhood. The landscape design meets all site design requirements which will improve upon the current use.**

- D. *Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;*

**The proposed duplex will have no adverse impacts on the neighborhood or surrounding homes. Though many of the existing plexes did not incorporate any of the architectural details of the existing homes in their design or construction, the proposed duplex has. It has incorporated turn of the century detail and a mix**

**of material textures creating its construction an improvement to the neighborhood and allow the owners to be good stewards and good neighbors. With the preservation of the over-reaching 20" dia deciduous tree located just beyond the SE corner of the subject property, on the neighboring property, mature laurel hedge along the North property line and mature trees to the rear, this new duplex will fit and blend in very well with the surrounding homes.**

- E. *The proposed use is consistent with the goals and policies expressed in the comprehensive plan;*

**The proposed use is consistent with the goals of having a wide variety and range of housing for all ages and income levels. It is creating the availability of another variety of residential density and housing type while preserving existing housing stock. In addition, it is development within an urban area of the city where adequate public facilities and services exist or can be provided in an efficient manner**

- F. *Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.*

**No other special conditions or criteria were established at the time of the preparation of this application other than presented in pre-application notes. However, all said conditions will be incorporated in final building plans**

The proposed duplex meets the design review standards under the CMC 18.19.050 (A) and Standard Principals CMC 18.19.050 (B)(3)(c):

A. Design Review:

- 1) *Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.*

**The landscaping is designed to integrate the new duplex into the neighborhood. The existing laurel hedge on the north side of the lot will be preserved and the large deciduous tree immediately south of the SE corner overhangs the lot. With the current landscape design, the subject duplex will sit within the existing landscape with the landscape being added to the front yards will blend well.**

- 2) *All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.*

**The existing laurel hedge on the north side of the lot will be preserved and the large deciduous tree immediately south of the SE corner overhangs the lot. With the current landscape design, the subject duplex will sit within the existing landscape. There are no significant natural features on the subject property**

- 3) *Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.*

**The design of the new duplex incorporates architectural features of the turn of the century homes in the neighborhood such as board and batt. This is a panelize styled feature and it will blend seamlessly into the overall exterior detailing.**

- 4) *A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.*

**The design of the new duplex incorporates architectural features of the turn of the century homes in the neighborhood such as: board and batt, covered porches, 4" wide trim around windows/doors and dormer detail at 2<sup>nd</sup> floor.**

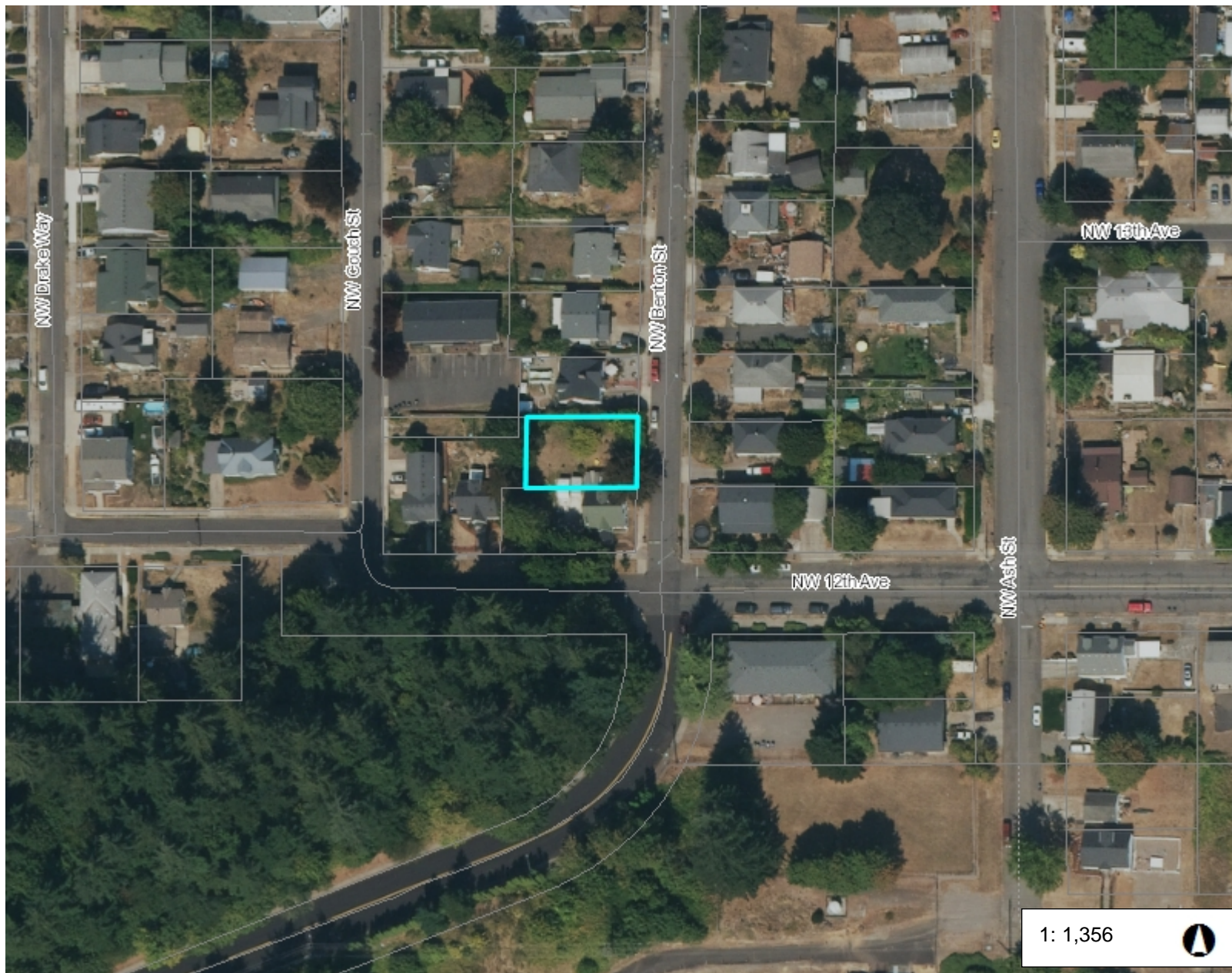
B. Standard Principals, Duplex, Triplex and Fourplex:

- 1) *Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look*

**The garages of the new duplex face the street and meet the above standard. Windows will be in the carriage style garage doors and the front porches are forward of the garage face with posts overlapping the inside corner of the garage. This is an added element that softens the garage face.**



## Vicinity Map



### Legend

- Taxlots
- All Roads**
  - Interstate
  - State Route
  - Arterial
  - Forest Arterial
  - Minor Collector
  - Forest Collector
  - Private or Other
- Cities Boundaries
- Urban Growth Boundaries

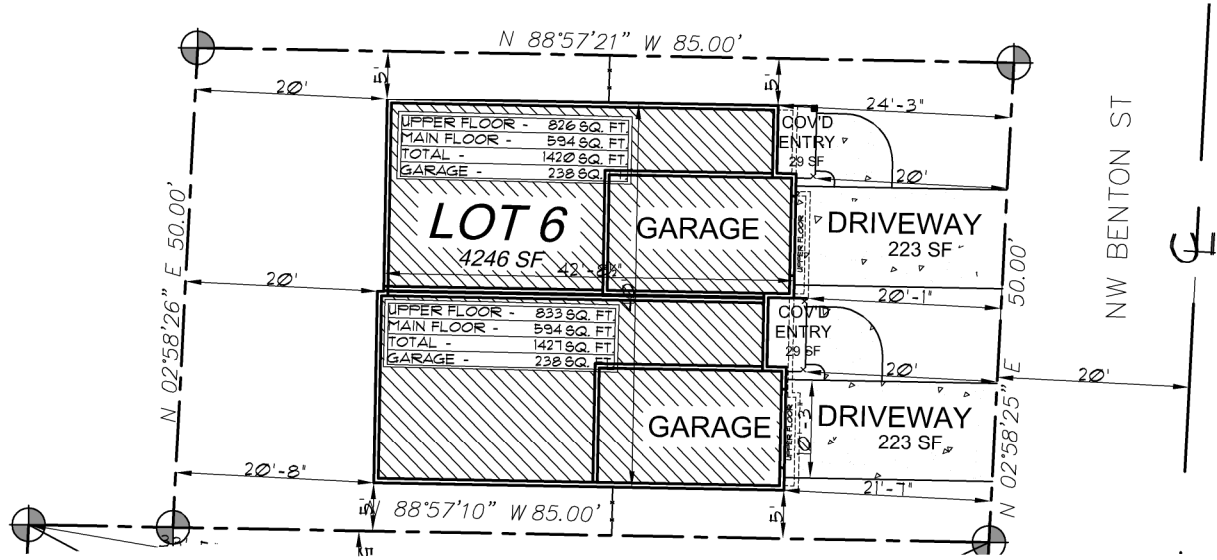
### Notes:

225.9 0 112.97 225.9 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
Clark County, WA. GIS - <http://gis.clark.wa.gov>

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information.

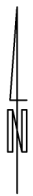




LOT AREA	4,242 SF
BUILDING COVERAGE	1,172 SF
% OF COVERAGE	43.4%
IMPERVIOUS AREA	446 SF

BUILDING HEIGHT = 25'-9"

SETBACKS:  
 FRONT = 20'  
 REAR = 20'  
 SIDE YARD = 5'



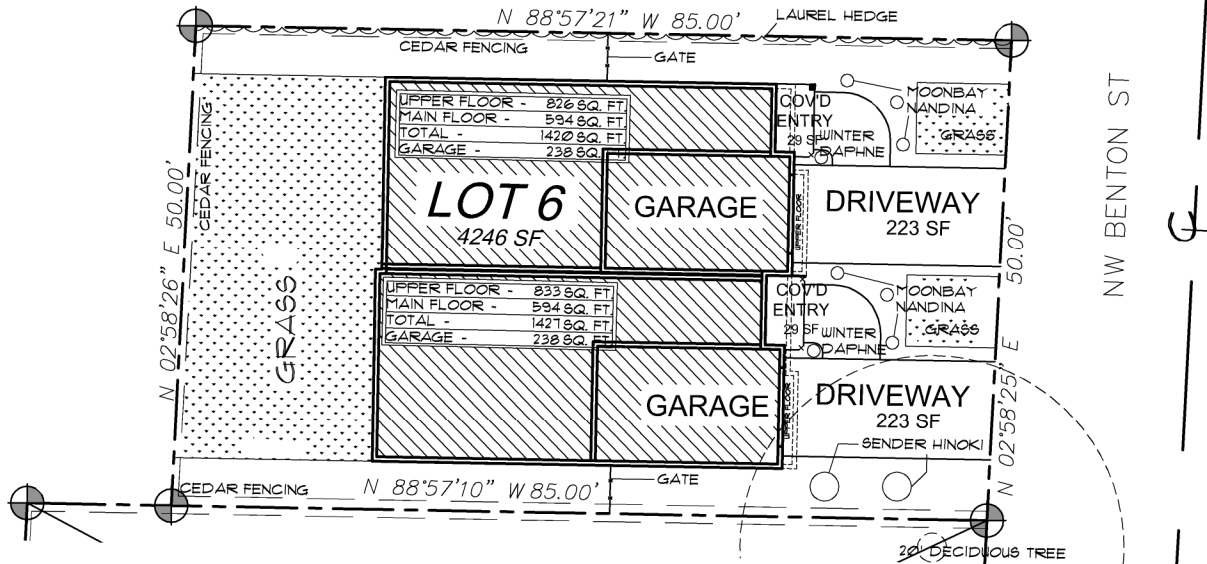
# SITEPLAN

SCALE: 1"=20'

PLAN NAME:  
 VUTUKURI  
 DRAWN: E DRAFT.  
 PLOT: 8/21/19  
 SCALE: 1"=20'

VUTUKURI  
 SITE





# LANDSCAPE PLAN

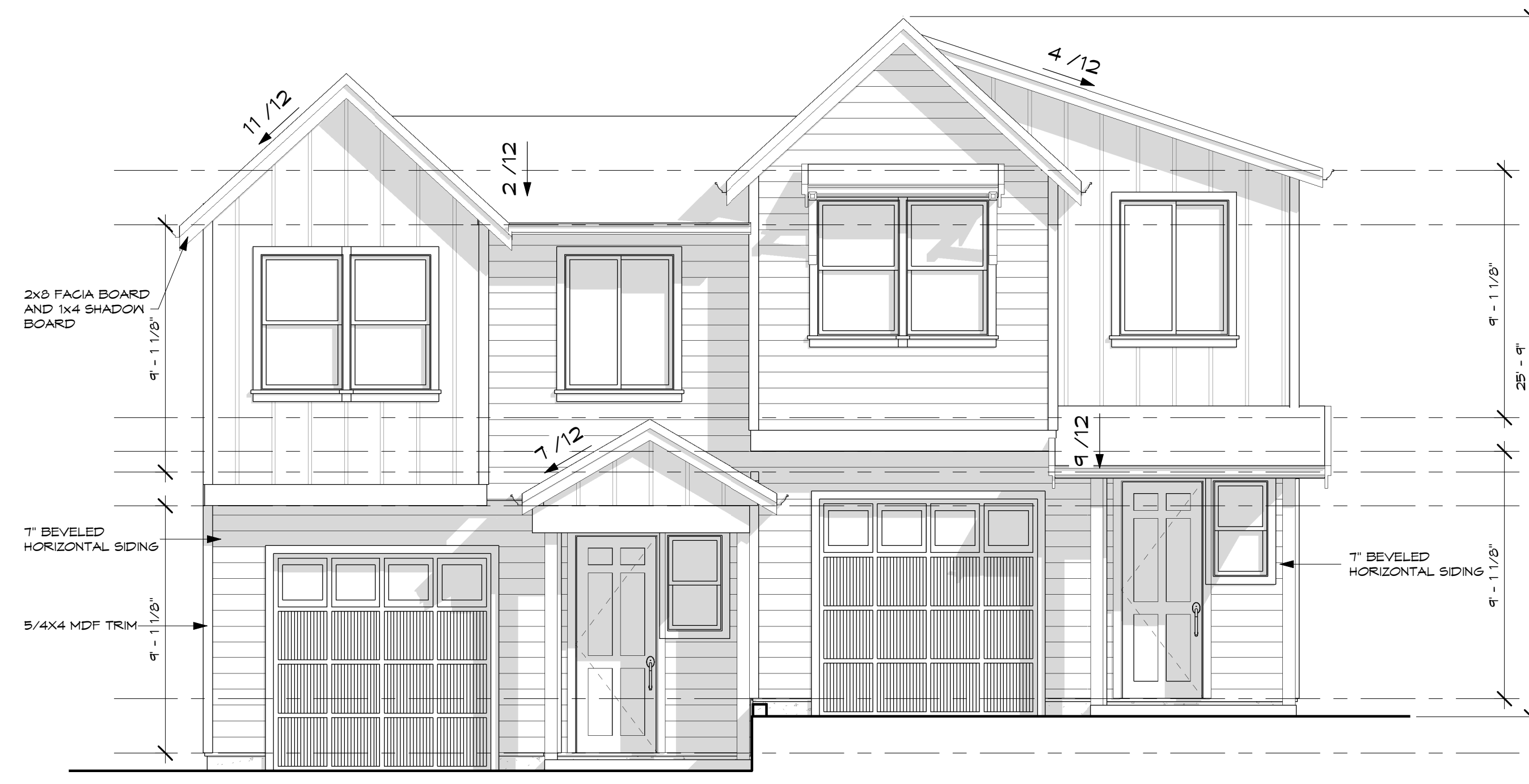
SCALE: 1"=20'

SETBACKS:  
 FRONT = 20'  
 REAR = 20'  
 SIDE YARD = 5'

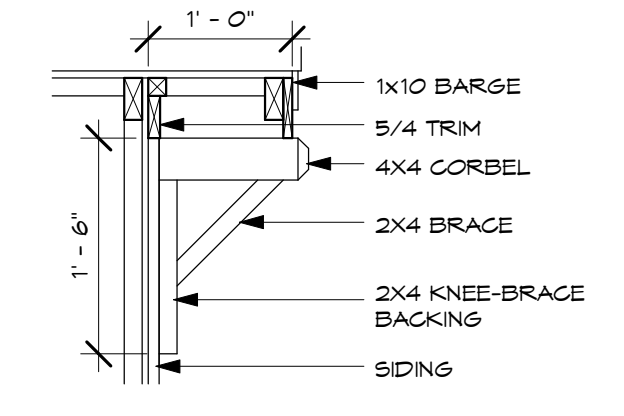
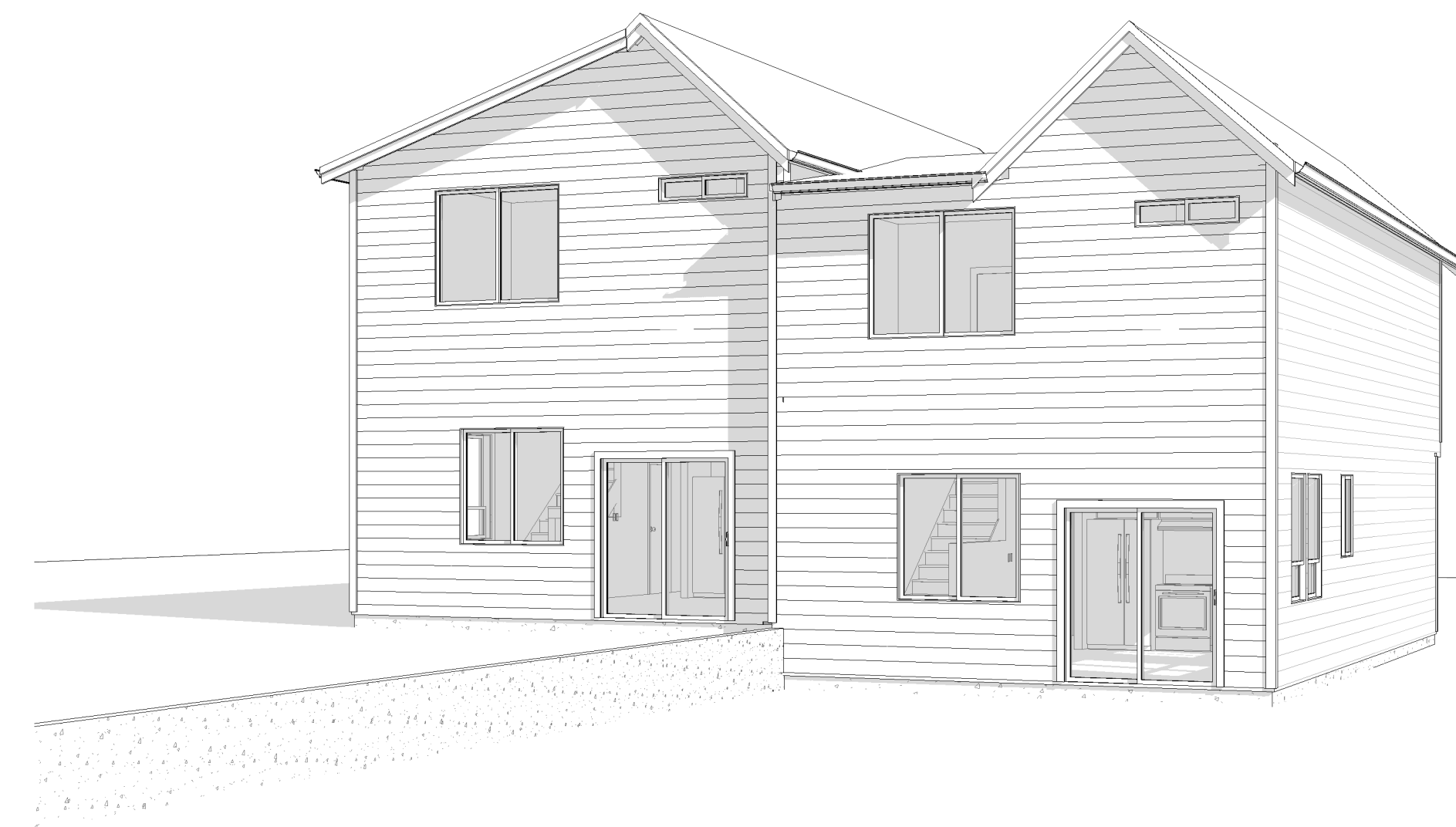
PLAN NAME:  
 VUTUKURI  
 DRAWN: E DRAFT.  
 PLOT: 8/26/19  
 SCALE: 1"=20'

VUTUKURI  
 LANDSCAPE





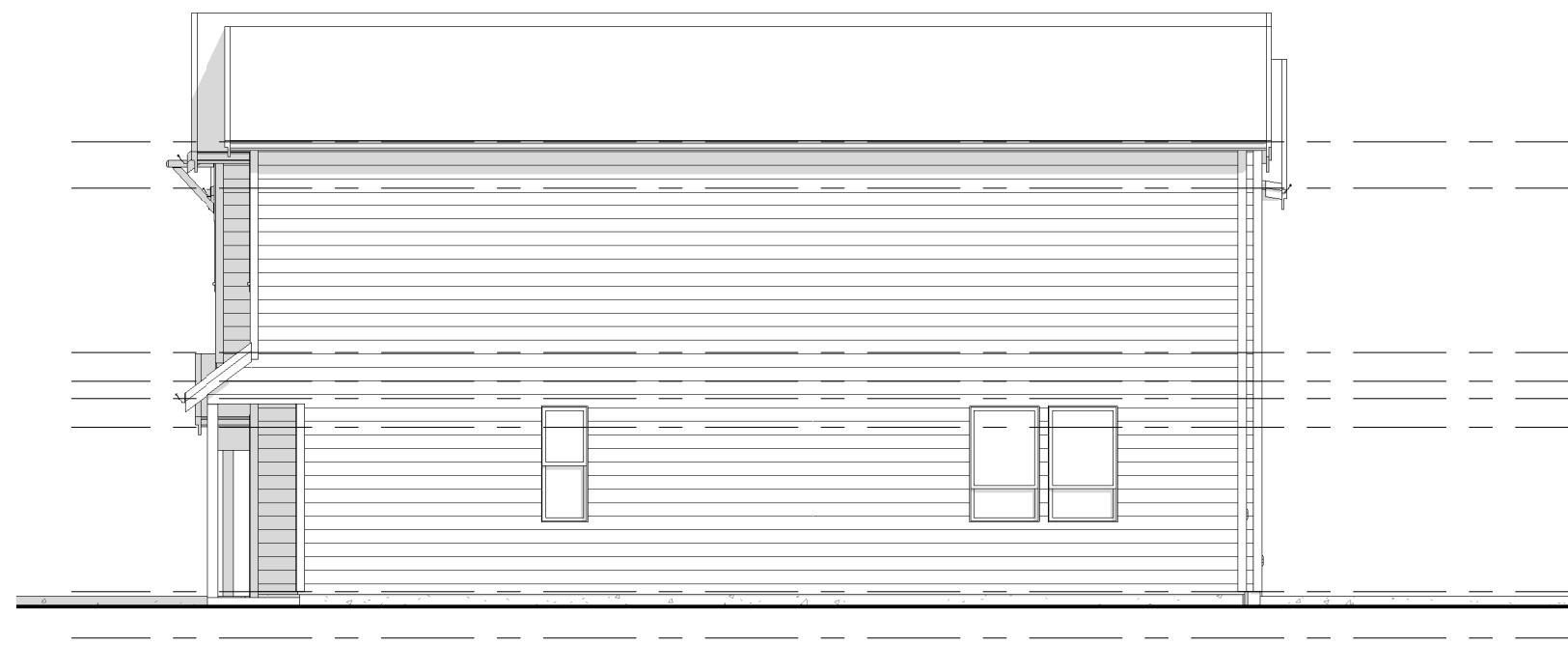
**Front Elevation**  
1/4" = 1'-0"



**Knee Brace Detail**  
3/4" = 1'-0"

SIDING TAKEOFF	
Material: Name	Material: Area
1" LAP SIDING STD BOARD & 1X2 BATT @ 16" O.C.	2103 SF
	198 SF

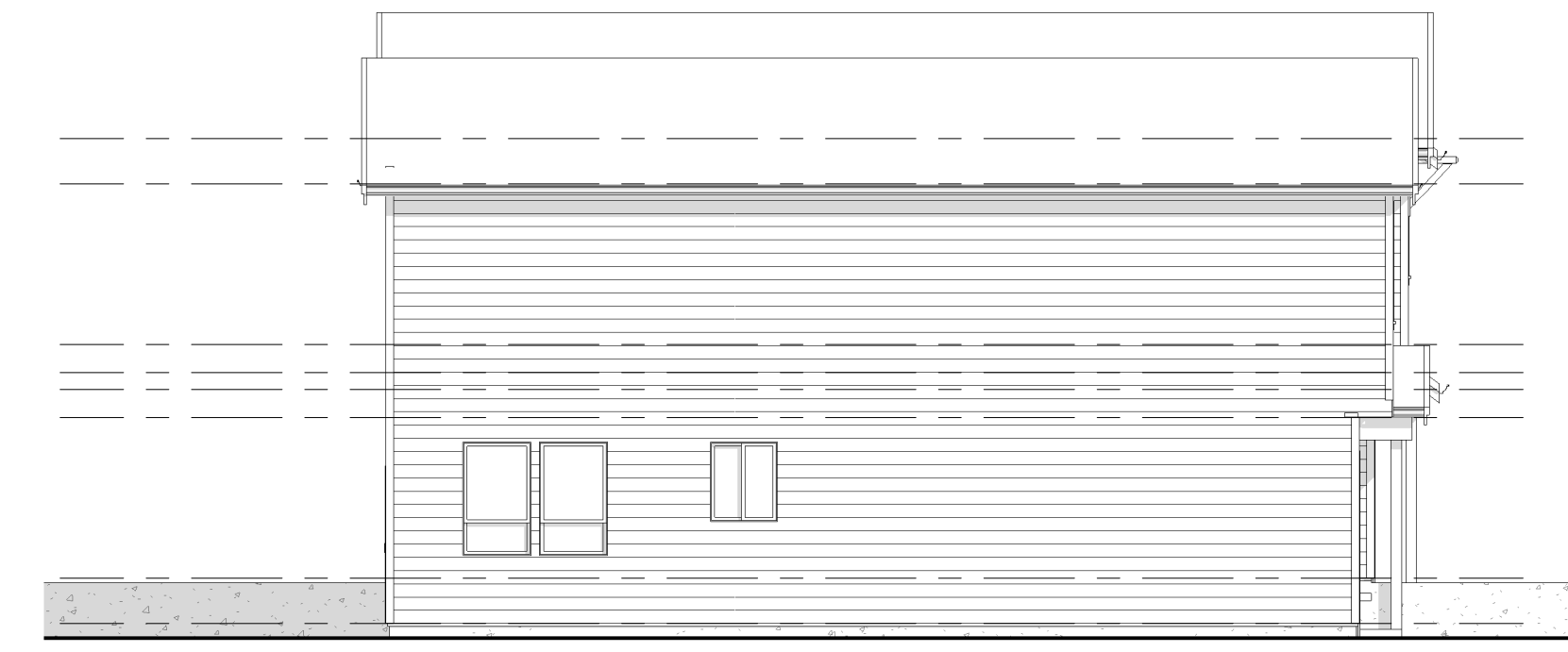
FASCIA SCHEDULE	
Type	Length
Fascia COMBO 1x6 1/4" x 4"	110' - 11 105/128"



**Left Elevation**  
1/8" = 1'-0"



**Rear Elevation**  
1/8" = 1'-0"



**Right Elevation**  
1/8" = 1'-0"

**GENERAL NOTES:**

- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITION OF LOCAL BUILDING CODE, ONE AND TWO FAMILY DWELLING CODES AND ALL OTHER GOVERNING CODES, LAWS AND REGULATIONS.
- SITE/CONSTRUCTION DOCUMENTS AND CONSTRUCTION PHASE, CONTRACTOR SHALL NOT SCALE THE DRAWINGS, OR DETAILS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOBSITE. NOTIFY DESIGN AGENCY IN WRITING OF ANY SIGNIFICANT DEVIATIONS, ANY CHANGES TO CONSTRUCTION DOCUMENTS OR IF ADDITIONAL DETAILS, SPECIFICATIONS ARE NEEDED FOR PROPER EXECUTION OF THE WORK. ALSO NOTIFY DESIGN AGENCY IN WRITING IF THERE ARE ANY CORRECTIONS OR CHANGES TO BE MADE TO THE CONSTRUCTION DOCUMENTS REQUIRED BY THE PLANNING/BUILDING DEPARTMENT OFFICIALS. PLANS CORRECTION LIST OR COMMENTS FROM THE PLANNING/BUILDING DEPARTMENT OFFICIALS MUST BE DELIVERED TO THE DESIGN AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES, INCLUDING ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS.
- MECHANICAL AND ELECTRICAL WORK IS ON A CONTRACTOR DESIGN/BUILD BASIS. COORDINATE ALL ARCHITECTURAL AND STRUCTURAL WORK WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.
- ALL DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS UNLESS NOTED OTHERWISE. ALL EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C., ALL INTERIOR WALLS TO BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE.
- COORDINATE ALL ITEMS NOT SHOWN OR NOTED WITH OWNER AND/OR DESIGNER, INCLUDING BUT NOT LIMITED TO FINISHES, COLORS, CABINETS, HARDWARE, FIXTURES, ETC.
- SEAL OR WEATHER STRIP ALL EXTERIOR OPENINGS AND PENETRATIONS IN MANNER TO PREVENT OUTSIDE AIR INFILTRATION AND MOISTURE FROM ENTERING STRUCTURAL AND OCCUPIED SPACES, INCLUDING AROUND PLUMBING AND ELECTRICAL LINES AND EQUIPMENT PASSING THROUGH WALLS, SUTTERS, DOWNSPUTS, ETC.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO FOLLOW AND COORDINATE PER THE MANUFACTURER'S PRINTED INSTRUCTIONS, SPECIFICATIONS AND INSTALLATION DETAILS THE INSTALLATION OF ALL BUILDING PRODUCTS (INTERIOR AND EXTERIOR), FIXTURES, EQUIPMENT, ETC., OR FOLLOW THE INDUSTRY STANDARD DETAILS FOR ALL THE CONDITIONS NOT SHOWN ON THE DRAWINGS FOR PROPER EXECUTION OF THE WORK. IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS THE DESIGN AGENCY MUST BE NOTIFIED IN WRITING TO PROVIDE ADDITIONAL DETAILS, SPECIFICATIONS OR INFORMATION PER REQUEST OF THE GENERAL CONTRACTOR OR OWNER FOR PROPER EXECUTION OF THE WORK.

**CONSTRUCTION PHASE:**

THE DESIGNER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER CONTRACT FOR CONSTRUCTION. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

**MATERIAL SPECIFICATION NOTE:**

THE DESIGNER DOES NOT RECOMMEND OR SPECIFY USE OF ANY TYPE OF "STUCCO PRODUCTS" OR EXTERIOR INSULATED AND FINISH SYSTEM ("I.F.S.") FOR THE EXTERIOR OF THE HOUSE. THE DESIGNER WILL NOT BE LIABLE FOR ANY KIND OF DAMAGES TO THE BUILDING (STRUCTURAL OR COSMETIC) IF THE OWNER OR THE CONTRACTOR DECIDE TO USE SUCH PRODUCTS.

**MISCELLANEOUS NOTES:**

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44 IN. ABOVE FIN. FLR.
- ALL WINDOWS WITHIN 18 IN. OF THE FLOOR, AND WITHIN 12 IN. OF ANY DOOR ARE TO HAVE TEMPERED GLAZING. SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS PLEXIGLAS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2X CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2" DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE 54 - 66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.
- CONNECT ALL SMOKE DETECTORS (SEE PLAN FOR LOCATION) TO HOUSE ELECTRICAL SYSTEM AND INTER-CONNECT EACH ONE, SO THAT, WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 4 AIR EXCHANGES PER HOUR. RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE 6-F.P. OR 6-F.P.G. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

SMOKE & CARBON MONOXIDE COMBO DETECTORS REQUIRED AS SHOWN ON THE PLANS. DETECTORS TO BE INTERCONNECTED AND POWERED BY PREMISE WIRING AND HAVE BATTERY BACKUP.

FAN V.T.O.S.	WASHINGTON STATE: 50 CFM FAN
	OREGON STATE: 50 CFM FAN TOILET COMPARTMENTS 80 CFM FAN BATHING & SPA AREAS
VENT ALL TO OUTSIDE	

**AREA CALCS: (LEFT UNIT)**

MAIN FLOOR	=	594	SQ. FT.
UPPER FLOOR	=	833	SQ. FT.
TOTAL	=	1427	SQ. FT.
GARAGE + SHOP	=	238	SQ. FT.

**AREA CALCS: (RIGHT UNIT)**

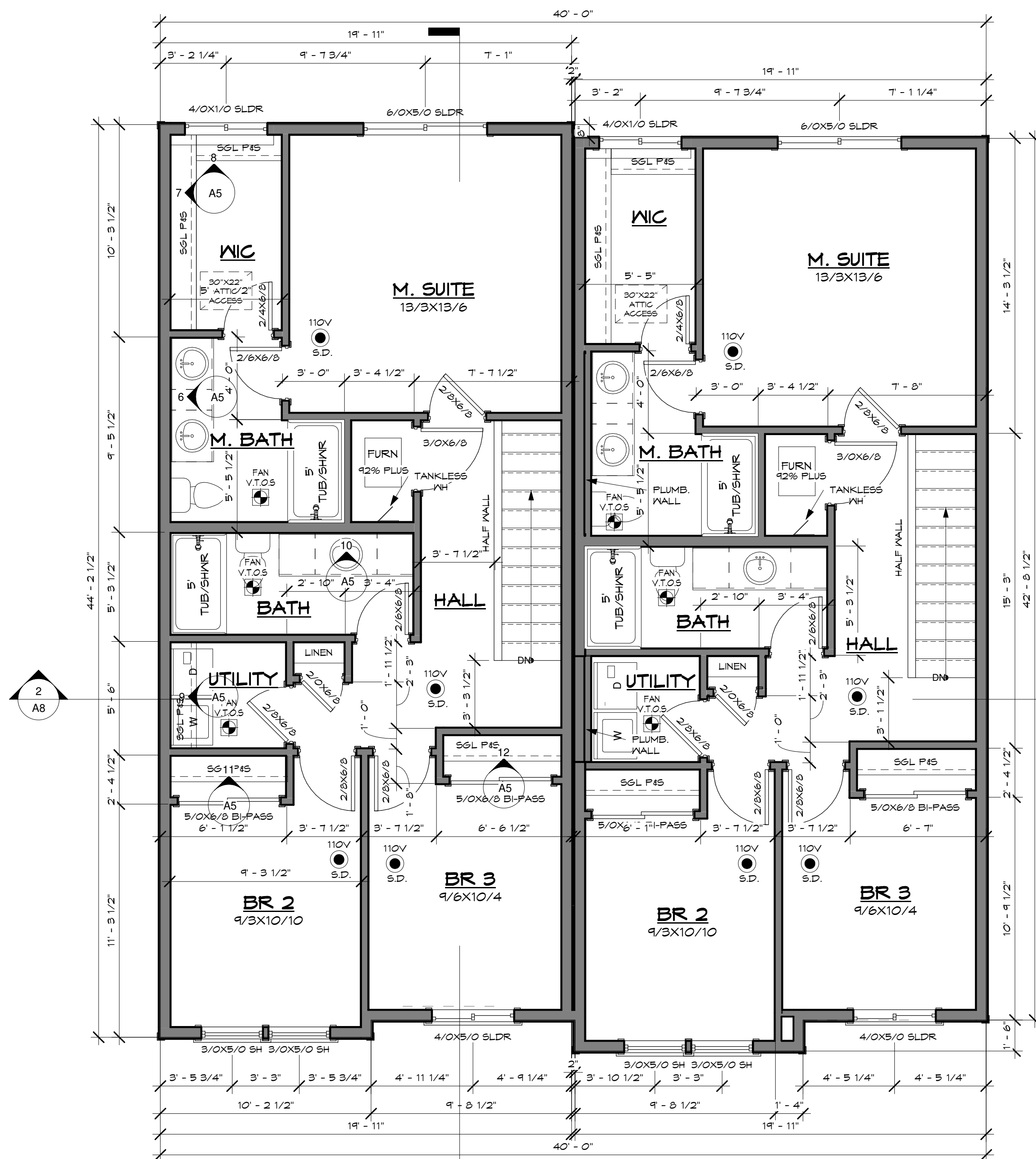
MAIN FLOOR	=	594	SQ. FT.
UPPER FLOOR	=	826	SQ. FT.
TOTAL	=	1420	SQ. FT.
GARAGE + SHOP	=	238	SQ. FT.

**GENERAL FLOOR PLAN NOTES:**

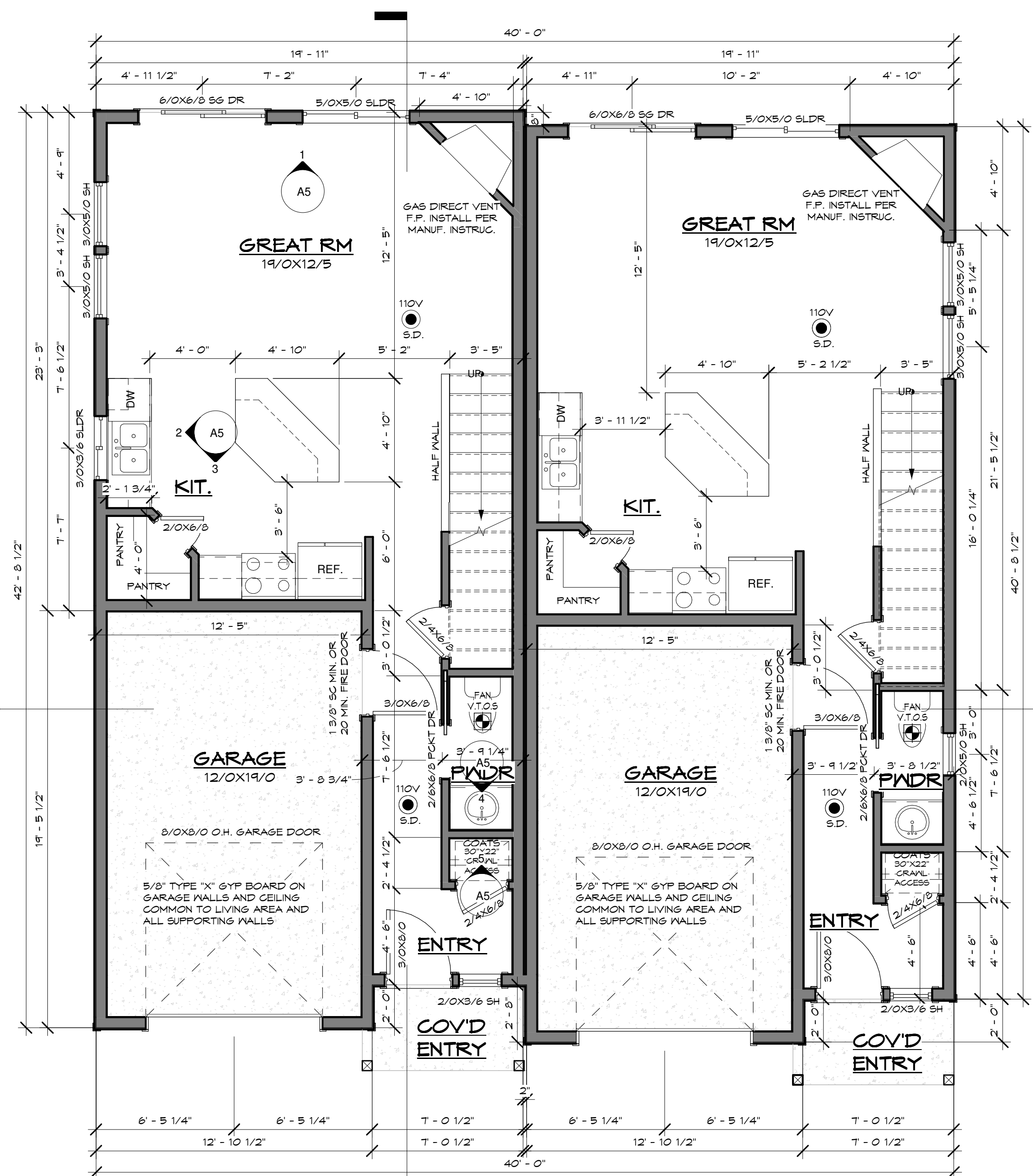
- WINDOW SIZES 4 ROUGH OPENINGS TO BE VERIFIED BY CONTRACTOR.
- WINDOWS THAT ARE BOTH WITHIN 24 INCHES OF A DOOR IN A CLOSED POSITION AND WITHIN 60 INCHES OF THE FLOOR SHOULD BE TEMPERED.
- WINDOWS IN ENCLOSURES FOR BATHTUBS, SHOWERS, HOT TUBS, WHIRLPOOLS, SAUNAS AND STEAM ROOMS WHERE THE GLASS IS WITHIN 60 INCHES ABOVE A DRAIN INLET SHOULD BE TEMPERED.
- WINDOWS WITH A PANE LARGER THAN NINE SQUARE FEET, HAVING A BOTTOM EDGE CLOSER THAN 18 INCHES TO THE FLOOR AND A TOP EDGE HIGHER THAN 36 INCHES ABOVE THE FLOOR SHOULD BE TEMPERED.
- FIREBLOCK ALL PLUMBING PENETRATIONS AND STAIR RUNS
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESURE TREATED.
- TOP OF HANDRAILS SHALL BE PLACED AT 36" ABOVE THE NOSING OF TREADS & LANDINGS THE NOSING OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION. PROVIDE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
- PREFABRICATED FIREPLACES, CHIMNEYS AND RELATED COMPONENTS TO BEAR U.L. OR I.C.B.O. SEAL OF APPROVAL AND TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- ELEV. OF FLOOR OR LANDING 1 1/2" MAX (OR 13/4" MAX FOR INSURING DR) BELOW THRESHOLD IS REQD FROM THE REGD EXIT DOOR. WHERE DOOR IS NOT THE REGD EXIT DOOR, A STAIRWAY OF 2 OR FEWER RISERS IS PERMITTED WHERE DOOR DOES NOT SWING OVER RISER.

**CEILING VENTILATION:**

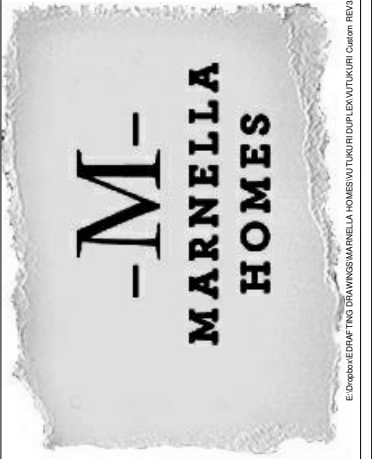
THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300, PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.



Upper Floor Plan  
1/4" = 1'-0"



Main Floor Plan  
1/4" = 1'-0"



FILE NAME :  
1427-40-ST-L  
DRAWN BY:  
E DRAFTING  
SCALE:  
1/4" = 1'-0"  
PLOT DATE :  
8/22/2019  
9:16:36 AM

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. The designer must be notified and consent to any variations from dimensions set forth herein. The type of exterior finish, the installation and waterproofing details are all to be the full responsibility of the owner/builder. This Designer assumes no responsibility for the integrity of the building envelope. This document is the property of E Drafting Corp. No reuse or reproduction is allowed without the written consent from E Drafting Corp.

SHEET  
Floor Plans

A3


First Unit Color pattern



Sample House (Not the Duplex)

Exterior 3 (3).jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 6199 <b>Rare Gray</b> Locator Number: 216-C3</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7571 <b>Casa Blanca</b> Locator Number: 264-C4</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 6208 <b>Pewter Green</b> Locator Number: 217-C6</p>	

 **SHERWIN-WILLIAMS.**

Actual color may vary from on-screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.


SEE BACK ALSO

Second Unit color pattern



Sample House (Not Duplex model)

Exterior 3.jpg

<p>✓ FEATURED IN SCENE</p> <p>SW 7669 <b>Summit Gray</b> Locator Number: 282-C5</p>	<p>✓ FEATURED IN SCENE</p> <p>SW 7006 <b>Extra White</b> Locator Number: 257-C1</p>
<p>✓ FEATURED IN SCENE</p> <p>SW 7048 <b>Urbane Bronze</b> Locator Number: 245-C7</p>	
 <p><b>SHERWIN-WILLIAMS.</b></p> <p>Actual color may vary from on screen representation. To confirm your color choices prior to purchase, please view a physical color chip, color card, or painted sample. Sherwin-Williams is not responsible for the content and photos shared by users of their color selection tools.</p>	



**Pre-Application Meeting Notes  
Underwood Duplex  
File PA 19-30**

Thursday, June 20, 2019  
Public Works Conference Room  
616 NE Fourth Avenue, Camas, WA 98607

**Applicant:**

Tony Marnella for the owner  
PO Box 874090  
Vancouver, WA 98687

**Representing City of Camas:**

Bob Cunningham, Building Official  
Robert Maul, Planning Manager  
Randy Miller, Fire Marshal  
Anita Ashton, Engineer Project Manager

**Location:** Next to 305 NW 12<sup>th</sup> Avenue, Camas, WA 98607

**Tax Accounts:** 82973000

**Zoning:** R-7.5

**Description:** Applicant would like to construct a duplex on site.

**NOTICE:** Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

## STAFF NOTES

### PLANNING DIVISION

Robert Maul | 817-7255

Applicable codes for this development include Title 17 Land Development and Title 18 Zoning of the Camas Municipal Code ("CMC"). The applicant is responsible for reviewing the code and addressing the applicable provisions.

Development of a duplex in a single family zone requires approval of a Conditional Use Permit. This is a Type III permit and requires a public hearing before the city's Hearings Examiner.

Type III Conditional Use Permit	Fees (as of June 25 <sup>th</sup> , 2019)
duplex – Conditional Use Permit	\$3,281+ \$101 per unit
duplex - Design Review Committee	\$2,280

The following items must be included for a complete application for a Conditional Use Permit:

1. **Development sign.** The applicant must install a 4'x8' sign on the property that provides details about the project, site plan, contact information, and includes space for public hearing information to be filled in when it is scheduled. Staff can provide a handout if requested.
2. **General application** materials are listed at CMC18.55.110 (A through G). Include a site plan with building footprint.
3. **Design Review Permit.** The city will schedule a public meeting with the Design Review Committee (DRC) prior to the public hearing, as the DRC will provide a recommendation on the permit. An application for design review must include (at a minimum) building elevations, materials, exterior colors, and landscaping plans. There are specific standards for duplexes within the city's Design Review Manual. One of the standards states, "*Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look.*" The design should include a visible and articulated front entrance.
4. **Conditional use permit.** The application should include photos of adjacent properties, and a description of the development patterns of the area. The applicant must include a written narrative that responds to each of the [criteria](#) at CMC §18.43.050 Criteria:
  - A. *The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;*
  - B. *The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;*
  - C. *The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;*
  - D. *Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;*



E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

Projects that require a Conditional Use permit, must also include the following:

1. Parking (off-street) for four vehicles, or two spaces per unit per CMC Chapter 18.11 Parking
2. Landscape plan per CMC Chapter 18.13 Landscaping.
  - Parking areas must include 5-feet of landscaping between adjacent lot line (screening bushes and trees).
  - Street trees must be installed in the planter strip of the frontage. One tree per unit.

## BUILDING DIVISION

Bob Cunningham | 817-1568

1. The structures will be reviewed under the most current building codes as adopted by The State of Washington.
2. The structural drawings and calculations shall be prepared and stamped by a Professional Engineer licensed by the State of Washington.
3. The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal shall conform to Sections R403.1.7.1 through R403.1.7.4. A geotechnical report may be required.
4. There is a required fire distance between buildings and from property line
5. The code required fire suppression system shall be in accordance with IRC and other applicable codes standards and shall be reviewed and permitted by the Camas Fire Marshal's office.

### **R302.3 Two-family dwellings.**

6. Dwelling units in two-family dwellings shall be separated from each other by wall and floor assemblies having not less than a 1-hour fire-resistance rating where tested in accordance with ASTM E 119 or UL 263. Fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.
7. Exceptions: 1. A fire-resistance rating of 1/2 hour shall be permitted in buildings equipped throughout with an automatic sprinkler system installed in accordance with NFPA 13.
8. Wall assemblies need not extend through attic spaces where the ceiling is protected by not less than 5/8-inch (15.9 mm) Type X gypsum board, an attic draft stop constructed as specified in Section R302.12.1 is provided above and along the wall assembly separating the dwellings and the structural framing supporting the ceiling is protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent.
9. System Development Charges and Impact fees shall be assessed prior to permits
10. Storm sewer disposal/connections are required.

11. Any development located within a special flood hazard area shall be in accordance with CMC 16.57
12. Verify Water and sewer availability with the public works department.

## ENGINEERING DIVISION

Anita Ashton | 817-1561

### General Requirements:

- Engineering requires submittal of civil plans for any work within the right-of-way; which includes trenching for water services and sanitary sewer laterals, sidewalks/driveway approaches, stormwater, and surface restoration.
- Civil construction plans shall be prepared by a licensed Washington State Engineer in accordance with the Camas Design Standards Manual (CDSM) and CMC 17.21.040.
- Plans are to be submitted to the Engineering Dept. for review and approval.
- A 3% plan review and construction inspection fee will be collected prior to release of approved plans. The fee is to be based on an engineer's estimate or construction bid.
- Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance can be found at CMC 17.21.

### Traffic/Transportation:

- Trips generated are less than 199 vpd, therefore a traffic study is not required.

### Streets:

- NW Benton Street is a fully improved local roadway with a 40-foot right-of-way, curbs, sidewalks, and planter strips.
- Neither frontage improvements nor additional right-of-way dedication not required.
- New driveway approach is to be constructed to city standards.

### Stormwater:

- The proposed improvements are less than 5,000 sq. ft. of impervious surface, therefore treatment and detention are not required.
- Provisions are to be provided for roof downspout controls. Stormwater from downspouts is not to be directed onto adjoining parcels. Reference Ecology's latest edition of the Stormwater Management Manual for Western Washington (SWMMWW) for roof downspout controls.
- There is an existing catch basin on the northwest corner of NW Benton St. and NW 12th Ave. that discharges into an existing stormwater manhole. Weep holes are permitted with verification that stormwater flows via the west gutter to the existing catch basin.

### Erosion Control

- This parcel is less than one acre, therefore it will not require an Erosion Control Bond.
- The applicant will be responsible for all erosion and sediment control measures to ensure that sediment laden water does not leave the site or impact adjacent parcels.
- Mud tracking onto the road surface is discouraged and any mud tracking is to be cleaned up immediately.

### Water:

- There is an existing 6-inch steel water main in NW Benton Street.
- The applicant shall provide a separate service and water meter for each duplex
- Applicant shall verify that there are adequate fire flows available.
- A 10-foot separation shall be maintained between water and sanitary sewer lines.
- Taps on existing water line is to be performed by a tapping Contractor approved by the City's Water/Sewer Dept.

### Sanitary Sewer:

- There is an existing 8-inch gravity sanitary sewer main in NW Benton Street.
- The applicant will be required to provide a sewer laterals to the duplex.
- A 10-foot separation shall be maintained between water and sanitary sewer lines.
- Taps on existing sanitary mains to be performed by a tapping Contractor approved by the City's Water/Sewer Dept.

City Approved Tapping Contractors:

- A&A Drilling Services, Inc.:  
16734 SE Kens Ct. #B, Milwaukie, OR 97267, 800-548-3827, <http://www.aadrilling.com>
- Ferguson Waterworks:  
14103 NW 3rd Court, Vancouver, WA 98685, 360-896-8708,  
<https://www.ferguson.com/branch/nw-3rd-ct-vancouver-wa-waterworks>

Other Utilities:

- Utilities designed to serve the development shall be placed underground, per CMC 17.19.040.C.

Parks/Trails:

- There aren't any trail requirements.

Impact Fees (collected at time of building permit):

- This development is located in the South District
- Duplex per DU:
  - Traffic Impact Fees - \$2,207.00
  - School Impact Fees (Camas) - \$5,371.00
  - Park/Open Space - \$4,500.00
  - Fire - \$0.20 psf

System Development Charges (collected at time of building permit):

- This development is located in the South District
- Residential per DU:
  - Water
    - 3/4" meter - \$6,044.00 + \$394.00 connection fee
  - Sewer
    - Residential - \$2,493.00 + \$170.00 STEP/STEF Inspection

**FIRE MARSHAL**

**Randy Miller | 834-6191**

Any inadvertent omission or failure to site or include any applicable codes or code language by the Fire Marshal's office or the City shall not be considered a waiver by the applicant.

1. Residential Fire Sprinklers required in all new dwellings. NFPA 13D installation guidelines.
2. No building or structure regulated by the building and/or fire code shall be erected, constructed, enlarged, altered, repaired, moved, converted or demolished unless a separate permit for each building or structure has first been obtained from the CWFMO Camas Municipal Code 15.04.030.D.12.a
3. NFPA 13D Residential Fire Sprinklers required in all new dwellings.

4. Water supply line from the meter into the house shall be sized per the fire sprinkler contractors design calculations or a 2 inch line shall be installed. Please contact the FMO if you have any questions.
5. Address monument(s) shall be located at the point the driveway access leaves the main road and shall be substantially permanent in nature and clearly visible from both directions on the main road.
6. A fire department turnaround is required when the dead end exceeds 150 ft. Contact our office if there are constraints that will require potential alternate methods.
7. Where applicable a 12 foot wide paved access road with 20 foot wide ground to sky clearance.
8. Any discovered underground oil storage tank is a decommissioning permit through the FMO.
9. When contacting the Fire Marshal regarding any future permits, it is required that you have available or provide the APPLICATION number as noted on the FMO permit.
10. To request inspections contact the Fire Marshal's Office via Camas Connect (see attached for details). Otherwise please call our inspection line at 360-834-6191 x1.
11. Please do not contact the building department with questions regarding Fire Marshal review notes or permits. The Fire Marshal's Office contact information is noted above.

Please don't hesitate to contact the FMO if you have any questions or as discussed to schedule face to face meetings at our office to go over any potential issues or review notes. 360-834-6191 or [FMO@cityofcamas.us](mailto:FMO@cityofcamas.us)







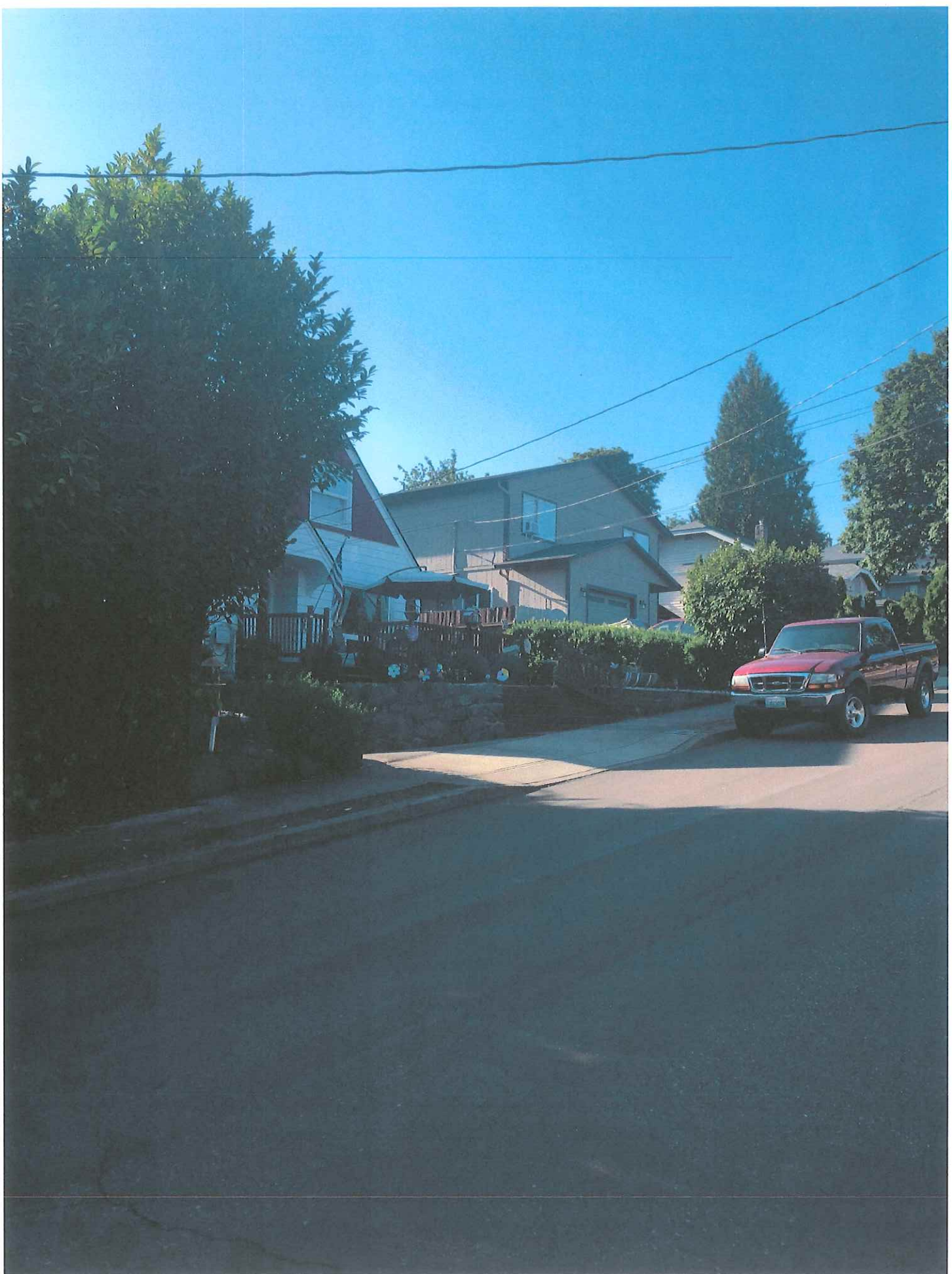
Looking SE from the front of site.jpeg







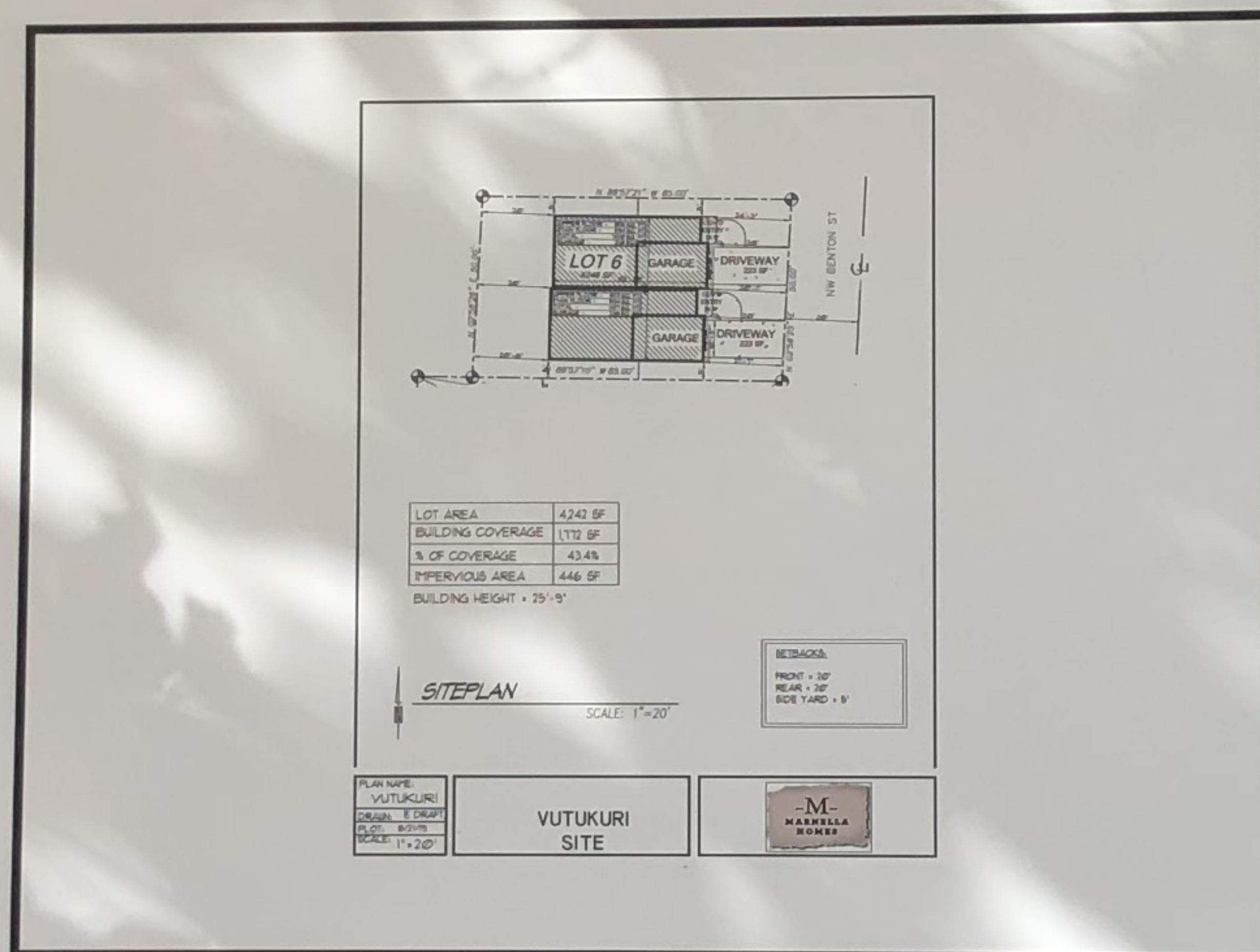




# Notice of Proposed Development

"Vutukuri Duplex" - 1213&1217 NW Benton ST.

Site Plan



An application is on file with the city of Camas for review of a Conditional use permit to build a duplex. For more information regarding the project contact:

Application contact: Tony Marnella  
Tel: 503-654-6642

City Contact: Madeline Sutherland  
Tel: 360-817-7237

Public Hearing Schedule:

Hearing  
Date/Time:

Location:  
Camas City Hall  
616 NE 4th Avenue



Community Development Department  
616 NE Fourth Avenue  
Camas, WA 98607  
(360) 817-1568

**STAFF REPORT**  
**Design Review Application for Vutukuri Duplex**  
**City File No. DR19-08**

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**TO:** Design Review Committee  
**FROM:** Madeline Sutherland, Assistant Planner  
**APPLICANT:** Tony Marnella  
**LOCATION:** 1213 NW Benton Street  
Camas, WA 98607  
Parcel No. 82973000

**APPLICABLE LAW:** The application was submitted on August 30, 2019. The applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 18 Zoning (not exclusively): CMC Chapter 17.21 Procedures for Public Improvements; CMC Chapter 18.19 Design Review; Camas Design Review Manual (2016); and CMC Chapter 18.55 Administration and Procedures; and RCW 58.17.

**BACKGROUND:**

The Vutukuri duplex is located on approximately 0.11 acres of single-family (R-7.5) zoned property at 1213 NW Benton Street. The applicant is currently seeking design review approval for the construction of a duplex residential building. Each residential unit contains a single car garage accessed at the front of the building, with additional parking provided on the driveway. Landscaping is provided on site.

The project area is bordered on each side by single-family residential homes. Existing plex's are located within the project vicinity.

**PURPOSE:**

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the general design review standards (CMC Chapter 18.19.050.A and the Camas Design Review Manual "DRM" pages 4-7), along with the the specific standards for multi-family (CMC Chapter 18.19.050.B.3.c and the DRM page 19); which are included in the enclosed Design Review Checklist.

**STANDARD AND MULTI-FAMILY DESIGN PRINCIPLES AND GUIDELINES:**

The standard and multi-family principles are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the

proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.**

**RECOMMENDATION:**

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to the Director for a final decision.



Community Development Department  
 616 NE Fourth Avenue  
 Camas, WA 98607

**Design Review Checklist for (DR19-08) Vutukuri Duplex**

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

**Standard Principles and Guidelines**

<b>ARCHITECTURE</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
X			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
X			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
X			The use of bold colors has been avoided unless used as minor accents.	
X			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
<b>LANDSCAPING AND SCREENING</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
X			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
		X	Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	

## DESIGN REVIEW CHECKLIST

X			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
X			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
		X	Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
		X	Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
		X	Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
		X	Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
		X	Outdoor furniture samples are consistent with the overall project design.	
X			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
		X	Rock outcroppings, forested areas and water bodies are retained.	
<b>HISTORIC AND HERITAGE PRESERVATION</b>				
<b>Yes</b>	<b>No</b>	<b>NA</b>	<b>Principles and Guidelines</b>	<b>Comments</b>
		X	The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	



# DESIGN REVIEW CHECKLIST

## Specific Principles and Guidelines

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
<b>1. DUPLEX, TRIPLEX &amp; FOUR-PLEX</b>				
X			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
X			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
X			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	<i>The committee recommended an architectural feature above the doors on rear side of the duplex. The Design Review Manual does not apply to the rear side of buildings unless there is a street directly behind it. In this case, there is an existing single family residence behind the subject property, therefore staff cannot make this recommendation a condition.</i>

CAINE ROBERT S  
1225 NW BENTON ST  
CAMAS WA, 98607

HARRIS KENNETH D & HARRIS STINA E  
PO BOX 874021  
VANCOUVER WA, 98687

MARSHALL THOMAS  
1224 NW DRAKE WAY  
CAMAS WA, 98607

CHOUINARD GENE M & CHOUINARD  
G & N CHOUINARD REV LIV TRUST  
SCAPPOOSE OR, 97056

HERIGSTAD DARICE LYNN  
1250 NW BENTON ST  
CAMAS WA, 98607

MCHUGH JOHN & MCHUGH CHARLENE  
PO BOX 427  
CAMAS WA, 98607

CITY OF CAMAS  
C/O GEORGIA PACIFIC CORP  
CAMAS WA, 98607

HESFORD ARTHUR J  
760 NE STOKES TER  
JENSEN BEACH FL, 34957

MILLER JODY  
1301 NW COUCH ST  
CAMAS WA, 98607

CORONADO RAY III  
1241 NW COUCH ST  
CAMAS WA, 98607

HOLLAND TRACY M  
10428 WYTON ST  
LOS ANGELES CA, 90024

OSTENSON GARY L & OSTENSON DANA  
9001 SE EVERGREEN HWY  
VANCOUVER WA, 98664

CURTIS LARRY D & CURTIS PENNY M  
437 NW 12TH AVE  
CAMAS WA, 98607

HOLTHUSEN LAWRENCE E  
1111 MONTANA LANE  
VANCOUVER WA, 98661

PATTERSON BRUCE & PATTERSON  
1329 NW BENTON  
CAMAS WA, 98607

DEK PROPERTIES LLC  
29910 NW 18TH PL  
RIDGEFIELD WA, 98642

KNILANS JOHN C & KNILANS SUSAN  
1213 NW ASH ST  
CAMAS WA, 98607

RJHS HOLDINGS 4 LLC  
PO BOX 928  
BATTLE GROUND WA, 98604

DUGGER ELIZABETH  
11944 SE BROOKSIDE DR  
PORTLAND OR, 97266

KOBENKO PYOTR & KOBENKO ELENA  
1239 NW BENTON ST  
CAMAS WA, 98607

RUSCH DEANNA L  
1238 NW BENTON ST  
CAMAS WA, 98607

EOLO LLC  
19215 SE 34TH ST STE 106-529  
CAMAS WA, 98607

LARSEN ERIC  
1205 NW ASH ST  
CAMAS WA, 98607

SAMPSON LARRY D & SAMPSON  
1234 NW DRAKE WAY  
CAMAS WA, 98607

FORT JAMES CAMAS LLC  
GEORGIA PACIFIC CONSUMER  
ATLANTA GA, 30348

LARSEN KIRK W & LARSEN SHANNON  
1228 NW BENTON ST  
CAMAS WA, 98607

SEASHOLTZ CONDER T & SEASHOLTZ  
1313 NW COUCH ST  
CAMAS WA, 98607

GREEN DONNA TRUSTEE  
1306 NW COUCH ST  
CAMAS WA, 98607

LEE RICKEY A & LEE WENDY (C/B)  
PO BOX 1192  
WASHOUGAL WA, 98671

SIBLEY MICHAEL D & SCHATZ JACK W  
2405 NE 12TH AVE  
PORTLAND OR, 97212

SMET TONY & SMET LYNN TRUSTEES  
5646 FIRESTONE RD  
LIVERMORE CA, 94551

TOTHMAN GROUP  
333 S STATE ST, #V269  
LAKE OSWEGO OR, 97034

TRICOLA BRAD LEE NELSON &  
1208 NW BENTON ST  
CAMAS WA, 98607

UNDERWOOD AUSTIN & UNDERWOOD  
305 NW 12TH AVE  
CAMAS WA, 98607

VALENCIA GERARDO & VALENCIA ANA  
1303 NW BENTON ST  
CAMAS WA, 98607

VANRONK BETTY J  
1137 NW ASH ST  
CAMAS WA, 98607

VUTUKURI KISHORE KUMAR &  
2674 NW 166TH TER  
BEAVERTON OR, 97006

WHITCOMBE AMANDA H & HEATHERLY  
1237 NW ASH ST  
CAMAS WA, 98607

WILDER MARIJKE  
1215 NW COUCH ST  
CAMAS WA, 98607

WRIGHT BERNICE Y  
1306 NW BENTON ST  
CAMAS WA, 98607



Chicago Title and/or Fidelity National Title certify that the properties contained in this electronic search of the records of the Department of Assessment and Geographic Information Systems (GIS) of Clark County, WA is a true and accurate list of properties within 300 feet of the subject property. This search contains records recorded as of October 8<sup>th</sup>, 2019.

This is not a title product therefore this company assumes no liability for the content therein.

Signed *Jessica Curley*  
 Jessica Curley - Property Information Specialist

This map/plot is being furnished as an aid in locating natural boundaries and other land, and is not a survey of insurance is expressly modified by endorsement, if any location of easements, acreage or other matters show





## Notice of Public Hearing

### Vutukuri Duplex

File No. CUP19-02

A public hearing will be held on **Thursday, February 6, 2020 at 5:00 p.m.**, or soon thereafter, before the City's Hearings Examiner to consider the conditional use permit application for the Vutukuri Duplex. The public hearing will be held at City Hall, 616 NE 4th Avenue, Camas, WA 98607. The applicant proposes to construct a duplex with associated parking and landscaping. The 0.11-acre site is located at 1213 NW Benton Street in the NE ¼ of Section 11, Township 1 North, Range 3 East; Camas, WA. Parcel Number includes 82973000. The application was determined technically complete on October 29, 2019.

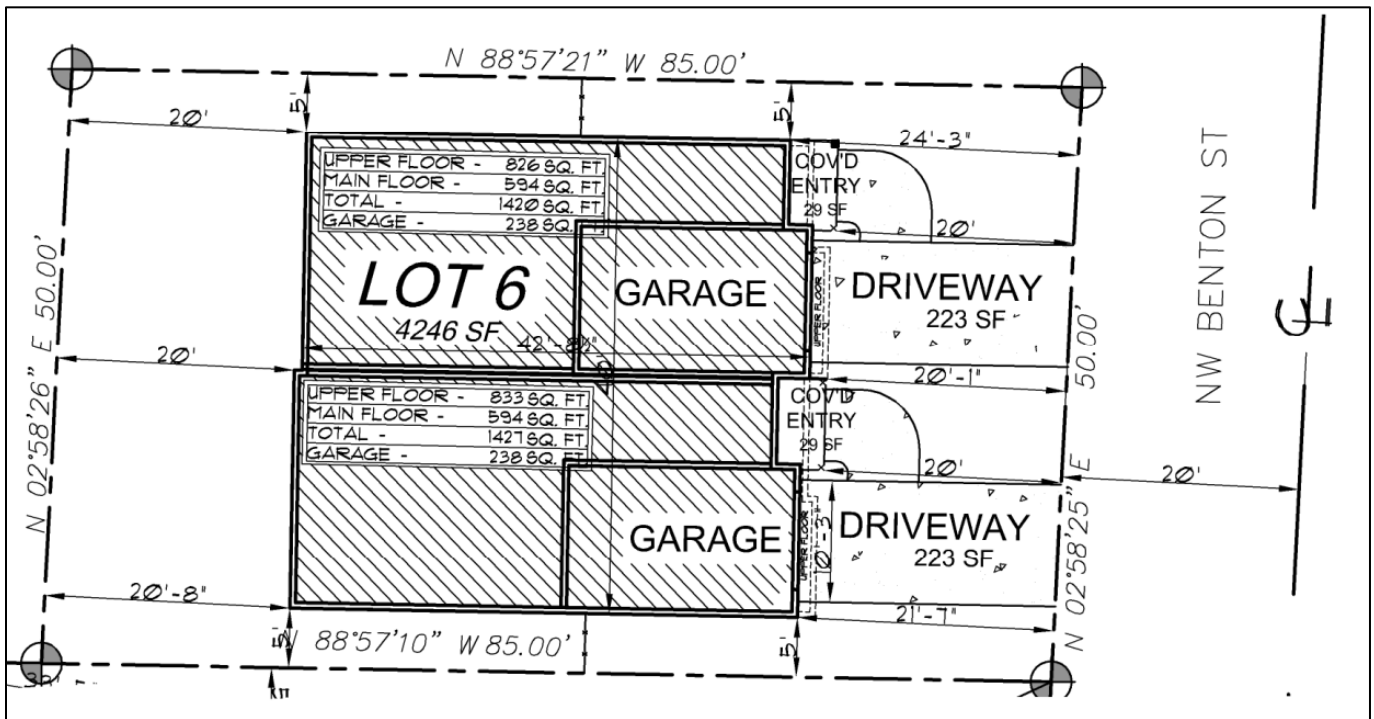
**Questions/Comments:** The public hearing will follow the quasi-judicial process described within Camas Municipal Code §18.55.180. Comments related to this development may be submitted as follows: (1) In person by testifying at the public hearing; (2) by regular mail to Community Development Department staff, Madeline Sutherland, Assistant Planner, at Camas City Hall, 616 Northeast Fourth Avenue, Camas, WA 98607; (3) by phone at (360) 817-7237; or (4) by email to: [communitydevelopment@cityofcamas.us](mailto:communitydevelopment@cityofcamas.us). It is preferable that written comments be received at least five working days prior to the public hearing, in order to be available with the online agenda and materials. After the agenda has been posted online, all other written comments must be received no later than noon (12:00 p.m.) the day of the hearing, in order for those comments to be handed to the Hearings Examiner by Staff. Written and oral comments may also be submitted in person during the hearing.

**Application Materials:** The application included the following: project narrative and site development plans, as required for a complete application pursuant to Camas Municipal Code (CMC) §18.55.110. The application materials are also available for viewing at the Community Development Department (616 NE 4th Avenue, Camas, WA) during regular business hours Monday – Friday 8 a.m-5 p.m.

**Participate:** All citizens are entitled to have equal access to the services, benefits and programs of the City of Camas. Please contact the **City Clerk at (360) 817-1591** for special accommodations if needed. The City will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting or hearing.

**More Information:** The public hearing agenda and supporting documents will be available for review on the City's website at the "Minutes, Agendas & Videos" link within the drop-down menu that is labeled "Your Government" or follow this link:  
<http://www.cityofcamas.us/yourgovernment/minuteagendavideo>.

**Excerpt from Conditional Use Permit Application  
Vutukuri Duplex (File #CUP 19-02)**





## Notice of Application

### Vutukuri Duplex

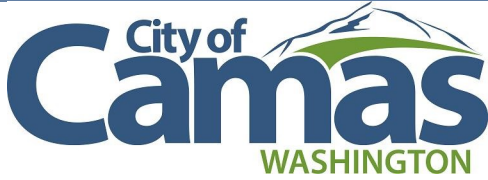
File No. CUP19-02

**“NOTICE IS HEREBY GIVEN”** that an application for the “Vutukuri Duplex”, a residential duplex with associated parking, requesting a conditional use permit and design review approval was received on August 30, 2019, and deemed technically complete on October 29, 2019. A public hearing is required for the Conditional Use Permit, and will be scheduled at a later time. A separate public notice will be mailed to all property owners within 300-feet of the subject development and published in the Post Record.

**LOCATION:** The 0.11-acre site is zoned single-family residential (R-7.5) and located at 1217 NW Benton Street in the NE 1/4 of Section 11, Township 1 North, Range 3 East; Camas, WA. Parcel Number 82973000.

**APPLICATION MATERIALS:** The application included the following: project narrative, site plan, landscape plan, building elevation and floor plans and other required submittal documents. These documents are available for viewing at the Community Development Department (616 NE 4<sup>th</sup> Avenue, Camas, WA) during regular business hours Monday – Friday 8am-5pm.

**Questions/Comments:** For questions related to this application, please contact Madeline Sutherland, Assistant Planner, at (360) 817-1568 or by email at [communitydevelopment@cityofcamas.us](mailto:communitydevelopment@cityofcamas.us).



# Notice of Design Review Committee Meeting

## Wednesday, December 18th

A public meeting of the Design Review Committee will be held on December 18, 2019, beginning at 4:00 p.m., or shortly thereafter, at City Hall, located at 616 NE Fourth Avenue, Camas. The meeting facility is ADA compliant. All citizens are entitled to have equal access to the services, benefits and programs of the City of Camas. Please contact the City Clerk at (360) 834-6864 for special accommodations if needed. The City will provide translators for non-English speaking persons who request assistance at least three working days prior to a public meeting.

**The preliminary agenda includes the following applications:**

Project	Kiddie Academy	Vutukuri Duplex
File #	DR19-12	DR19-08
Location	Parcel No. 986038901	1213 NW Benton Street Parcel No. 82973000
Zone	Community Commercial (CC)	Single-Family Residential (R-7.5)
Owner	Vijay Ilavarasan	Kishore and Mahalakshmi Vutukuri
Description	To construct a 11,000 square foot single story daycare facility with a playground and associated parking.	To construct a residential duplex building.

**Kiddie Academy**



**MORE INFORMATION**

The meeting agenda and supporting documents will be available for review on the city's website at the "Minutes, Agendas & Videos" link within the drop-down menu that is labeled "Your Government" ([www.cityofcamas.us](http://www.cityofcamas.us)). Also, Planning Division staff can respond to questions and comments in regard to the public meeting or the projects under review. **Contact staff at (360) 817-1568** or by email at [communitydevelopment@cityofcamas.us](mailto:communitydevelopment@cityofcamas.us).

**OPPORTUNITY FOR COMMENT**

You are invited to offer comments regarding important design issues, which you believe, should be addressed in the decision for these projects. Procedures for a public meeting will be followed in accordance with RCW 42.30, which differs from a public hearing. Comments may be submitted by regular mail to the Planning Division, City of Camas, 616 Northeast Fourth Avenue, Camas, WA 98607; or by email to: [communitydevelopment@cityofcamas.us](mailto:communitydevelopment@cityofcamas.us).

**Vutukuri Duplex**



**DESIGN REVIEW COMMITTEE ("DRC")**

*The DRC conducts a public meeting for the purpose of reviewing specific proposals, and recommending conditions and/or other actions necessary for consistency with the principles of the Design Review Manual. The DRC does not issue a decision, but issues a written recommendation, together with findings to support the recommendation, to the approval authority within ten days of a public meeting held for that purpose.*





**COMMUNITY DEVELOPMENT DEPARTMENT**

616 NE 4<sup>th</sup> Avenue  
Camas, WA 98607  
[www.ci.camass.wa.us](http://www.ci.camass.wa.us)

October 29, 2019

Tony Marnella  
PO Box 874090  
Vancouver, WA 98687  
Sent via email [tony@marnellahomes.com](mailto:tony@marnellahomes.com)

RE: Vutukuri Duplex (CUP19-02)

Dear Tony Marnella,

The purpose of this letter is to inform you that the above application submitted on August 30, 2019 has been deemed complete in accordance with Camas Municipal Code (CMC) Section 18.55.130.

**The City will begin its review of the project application and provide subsequent comments.**

If you have any questions, please contact me at (360) 817-7237.

Respectfully,

A handwritten signature in blue ink that reads "Madeline Sutherland". The signature is written in a cursive style.

Madeline Sutherland,  
Assistant Planner



COMMUNITY DEVELOPMENT DEPARTMENT  
616 NE 4<sup>th</sup> Avenue  
Camas, WA 98607  
www.ci.camass.wa.us

September 24, 2019

Tony Marnella  
503.709.3900  
Sent via email [tony@marnellahomes.com](mailto:tony@marnellahomes.com)

RE: Vutukuri Duplex (CUP19-02)

Dear Tony Marnella,

Thank you for your application submittal for a duplex. There are items that remain to be addressed with your application. The purpose of this letter is to inform you that the above application submitted on August 30, 2019 has been deemed incomplete in accordance with Camas Municipal Code (CMC) Section 18.55.130. You have 180 days from the date of application to submit the missing information pursuant to CMC 18.55.130.C. If the below requested information is submitted, staff will again verify whether the application is complete.

**Items necessary for completeness:**

1. The project narrative needs to include the design review criteria. The design review criteria is stated in CMC 18.19.050(A) – Standard Principles and CMC 18.19.050(B)(3)(c) – Duplex, Triplex and Four-Plex.
2. A current mailing list and mailing labels of owners within 300 feet of the site.
3. A development sign in accordance to CMC 18.55.110(H).
4. A tree survey, and a landscape, tree and vegetation plan is required per CMC 18.13.020(B)(2). The requirements are listed in CMC 18.13.050.

**Once the application is deemed complete, the City will begin its review of the project application and provide subsequent comments.** If you have any questions, please contact me at (360) 817-7237.

Respectfully,

A handwritten signature in black ink, appearing to read "Madeline Sutherland", written over a horizontal line.

Madeline Sutherland,  
Assistant Planner

## Index of Exhibits for Vutukuri Duplex (CUP19-02)

<b>Exhibit</b>	<b>Title</b>	<b>Date</b>
1	Application form	8/30/2019
2	Narrative	8/30/2019
3	Vicinity Map	12/9/2019
4	Site Plan	8/30/2019
5	Landscape Plan	8/30/2019
6	Floor Plan and Elevations	8/30/2019
7	Building Colors	8/30/2019
8	Pre-Application Notes	8/30/2019
9	Neighboring Multi-Family Units	8/30/2019
10	Development Sign	10/15/2019
11	Staff Report to DRC	12/18/2019
12	Design Review Checklist	12/18/2019
13	Mailing Labels for Property Owners	10/15/2019
14	Map for Mailing Labels	10/15/2019
15	Notice of Public Hearing	1/22/2020
16	Notice of Application	11/7/2019
17	Notice of DRC Meeting	12/9/2019
18	Letter of Completeness	10/29/2019
19	Letter of Incompleteness	9/24/2019